

Franklin Elementary School

SUMMARY OF SCHOOL CAMPUS

- **Address:** 1433 San Antonio Ave, Alameda, CA 94501
- **Principal - Phone No. :** Jo Fetterly - (510) 748 4004
- **Year Built:** Original – 1950
- **Total Site Area:** 1.20 acres
- **Building Area:** 18,150 sf
- **1 Portable:** Portable (1997) 920 sf
- **2 Modulares:** 2-story Modular s (2000) 3,680 sf

FACILITY DESCRIPTION

Franklin School was constructed in 1950 as 2-story wood frame buildings on concrete pad foundations with parapet walls and flat membrane roofing. The Administration wing is actually recessed into grade so that mechanical/service spaces are a half-level down and office/Staff space, a half-level up. In 1955, a brick and glass corridor enclosure was added to the Main Entry, which clearly defines it. In 2000, all buildings received a seismic retrofit along with modernization work resulting in Accessibility upgrades of an elevator, exterior ramps, toilet barrier removal, fire alarm, and painting upgrades. The 2-story modular classrooms were also added in 2000. Measure “C” funds (2008) provided improvements to accessible path of travel, interior barrier removal, and playground resurfacing. The campus currently serves 320 (K-5) students with 13 classrooms, a Multi-Purpose/cafeteria, Media Center/library, and Administration/Staff lounge area.

STRUCTURAL ISSUES OF CONCERN

The 2-Story classroom building appears to have inadequate concrete shear wall reinforcement, and requires additional structural analysis to determine a precise retrofit plan. In addition, the 1-Story Administration building requires a minimum seismic gap from the 2-Story section and a retrofitted moment frame, which should be part of the further analysis.

KEY ASSESSMENT ITEMS

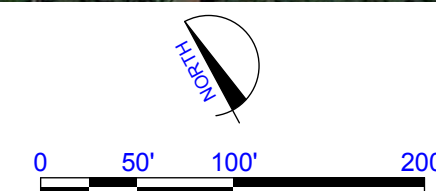
- Roof membrane at end of service life
- Exterior windows, doors and finishes at end of service life
- Additional accessibility barrier removal, and parking drop-off zone required
- Multi-Purpose/ Cafeteria accessibility
- Interior floor and wall finishes at end of service life
- Heating systems have reached end of service life
- Lighting fixtures are inefficient and at end of service life
- No Security Alarm system



- CLASSROOM BUILDING
- ADMINISTRATION
- MULTI-PURPOSE / CAFETERIA BUILDING
- MODULAR BUILDING
- PORTABLE BUILDING
- COVERED WALKWAYS
- #C SEE ASSESSMENT SPREADSHEET FOR CIVIL KEYNOTES, TYP.

FRANKLIN ES
4/30/2012

Alameda USD Facilities Assessment



Franklin Elementary School
Facility Assessment Spreadsheet

CATEGORY		DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF Quantity	Unit	COST / UNIT	TOTAL COST
1) Civil							\$58,420
A) Existing Site Conditions							
i) ACCESS							
1	Existing Deficiency	ADA student drop off does not meet current standards for configuration and cross slope.	1C				
	Recommended Remedy	Convert one of the two ADA parallel parking spaces on San Antonio to a Caltrans compliant drop off zone. Add compliant signage. Repair of the excessive cross slope will be difficult, as it will tend to interrupt street drainage flows.		700	SF	\$35	\$24,500
2	Existing Deficiency	No level landing at this exterior door	2C				
	Recommended Remedy	There are significant constraints to resolving this issue. Consider discontinuing use of this door if it is not a required exit.	ASSUME FILL DOOR	1	EA	\$2,500	\$2,500
3	Existing Deficiency	No level landing at bottom of stairs at two locations.	3C #24				
	Recommended Remedy	Remove site sidewalk. Add one more riser on each stair, and reconstruct railings as required. Grade for level landing at bottom of stairs, and 5% max slope to public sidewalk.		2	Locations	\$6,500	\$13,000
4	Existing Deficiency	7.5% straight grade from back of public sidewalk to door. No level landing.	4C				
	Recommended Remedy	Remove existing private walk. Install level landing at door and angled ramp at 1:12 max slope to public sidewalk.		360	SF	\$22	\$7,920
ii) FIRE/LIFE SAFETY/HAZ MAT							
1	Existing Deficiency	No onsite hydrants					
	Recommended Remedy	Coverage from street hydrants appears adequate. Fire access is good.	No Cost	0		\$0	\$0

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iii) UTILITIES							
1	Existing Deficiency	There is a poorly draining sump inlet at this location, to which all paved playcourt and likely most roof drainage is tributary. Inlet is reported to frequently back up during heavy storms, sending water into the adjoining basement area.	5C				
	Recommended Remedy	If inlet is truly a sump inlet with no outlet piping, consider adding storm drain pumping station in inlet, with force main outlet to adjoining public street. Per District this is 4" SD to curb in street., but always clogs. Replace w/ 6" line to street	Allow	100	LF	\$105	\$10,500
	Existing Deficiency	Domestic Water Service missing Back Flow device					
	Recommended Remedy	Install BFP on (E) 3" water line		1	LS	\$6,000	\$6,000
2	Existing Deficiency	Ponded water from play court area often floods basement.	6C				
	Recommended Remedy	Add trench drain at top of stairs, with 4" storm drain connection to adjoining sump inlet. Add line to new 6" sd to street	Allow	30	LF	\$135	\$4,050
2) Architectural							\$982,705
A) Exterior							
i) ACCESS							
1	Existing Deficiency	Playground: drink fountain is non-accessible	#1				
	Recommended Remedy	Replace with accessible fountain		1	PAIR	\$4,200	\$4,200
ii) DEFERRED MAINTENANCE							
1	Existing Deficiency	Play Yard: Equipment outdated and liability					
	Recommended Remedy	Replace with certified Playground equipment		1	LS	\$35,000	\$35,000
2	Existing Deficiency	2nd Fl. Corridor: chainlink enclosure is rusted and loose					
	Recommended Remedy	Replace chainlink with metal fence tubing enclosure		175	LF	\$45	\$7,875
3	Existing Deficiency	No Trash Enclosure at this Site					
	Recommended Remedy	Install a 2-Bin Trash Enclosure per Health Dept. standards		1	LS	\$15,000	\$15,000
4	Existing Deficiency	Exterior Doors: wood doors degraded at end of service life	#2, #3				
	Recommended Remedy	Replace with galv. steel frames with FRP doors and new hardware		24	EA	\$4,700	\$112,800
5	Existing Deficiency	Wood fascia and trim: paint is chipping/ peeling Stucco: Paint is faded and color mis-match	#5, #6 #4				
	Recommended Remedy	Prep and repaint all wood, and stucco walls	FLOOR AREA	18,150	SF	\$7	\$127,050

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CATEGORY		DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF		COST / UNIT	TOTAL COST
				Quantity	Unit		
6	Existing Deficiency	Roof: BUR roofing at end of service life					
	Recommended Remedy	Replace all roofing, scuppers, caps and flashings		18,000	SF	\$9	\$162,000
7	Existing Deficiency	Brick Entry: steps are degraded and cracked	#7, #3				
	Recommended Remedy	Replace with cast concrete stair		240	SF	\$42	\$10,080
8	Existing Deficiency	Alum. windows: south and west facing units have reached end of service life.	#8, #13, #14				
	Recommended Remedy	Replace all exterior windows with alum. frame, dual pane glass		2,800	SF	\$38	\$106,400
9	Existing Deficiency	Portable C16: wood foundation dry rot; wood panel and trim paint degraded; no site drainage	#12, #15, #16				
	Recommended Remedy	Replace wood foundation with concrete; add site drainage and new RWLs.		15	CY	\$900	\$13,500
10	Existing Deficiency	2-Story Modular: south, west and east exterior paneling/ trim degrading.	#22				
	Recommended Remedy	Replace south, west and east exterior w/ cement panel/trim and repaint.		12,600	SF	\$12	\$151,200
11	Existing Deficiency	Modular Stairs/Rails: excessive rust; expansion gap at alum ramp to Bldg. exceeds max. for accessibility.	#17, #18				
	Recommended Remedy	prep, treat and repaint all steel; add expansion cover at gap..		2	SETS	\$18,000	\$36,000

B) Interior

i) GENERAL & MAINTENANCE							
1	Existing Deficiency	Classroom/ corridor flooring at end of service life					
	Recommended Remedy	Replace all flooring with resilient flooring, and walk-off Entry carpet mat.		28,000	SF	\$5.00	\$140,000
2	Existing Deficiency	Interior painting wall covering at end of service life					
	Recommended Remedy	Repaint all interiors		28,000	SF	\$2.00	\$56,000
3	Existing Deficiency	Health Office: office student toilet in non-accessible	#20				
	Recommended Remedy	Reconfigure Health office/ toilet		1	LS	\$5,000	\$5,000
4	Existing Deficiency	Restroom Sinks: missing drain boots	#23				
	Recommended Remedy	Add accessible boot covers		8	EA	\$75	\$600

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CATEGORY	DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF Quantity	Unit	COST / UNIT	TOTAL COST
3) Mechanical / Plumbing						\$457,288
A) Exterior						
i)	SITE SYSTEMS					
1	Energy Management	campus energy management system does not exist				
	Recommended Remedy	add campus wide ddc control and create district standard for energy control systems	18,150	SF	\$2.25	\$40,838
2	Existing Deficiency	Overall, the mechanical systems are nearing the end of design life.				
	Recommended Remedy	replace and rebalance systems	18,150	SF	\$16	\$290,400
B) Interior						
i)	ACCESS					
1	Existing Deficiency	most toilet rooms and drinking fountains have been upgraded to meet ADA requirements, although they are showing signs of wear.				
	Recommended Remedy	Replace all plumbing fixtures, complete, including, urinals (0.125 gpf), water closets (1.28gpf), and lavatories (0,5gpm) to bring into current code compliance and reduce water consumption.	35	EA	\$800	\$28,000
ii)	EXISTING SYSTEMS					
1	Existing Systems	rooftop, gas heating units are nearing end of useful life and are inefficient.				
	Recommended Remedy	replace with high efficiency gas packaged ac units.	18,150	SF	\$2	\$36,300
2	Existing Hot Water Heater	existing H.W. Heater at end of service life				
	Recommended Remedy	Replace with 80 gal. gas H.W. heater in basement	1	LS	\$4,000	\$4,000
3	Existing Deficiency	Basement: toilet has floor mounted urinals and are non ada.				
	Recommended Remedy	upgrade bathroom in its entirety to meet current ADA requirements. Replace all plumbing fixtures, complete, including, urinals (0.125 gpf), water closets (1.28gpf), and lavatories (0,5gpm) to bring into current code compliance and reduce water consumption.	770	SF	\$75.00	\$57,750

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CATEGORY	DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF Quantity	Unit	COST / UNIT	TOTAL COST
4) Electrical						\$296,075
A) General						
i) EXISTING SYSTEMS						
Existing System	School Modernization in 2008 included upgrades to tele communications, clock, security, and fire alarm systems. Electrical distribution system, including main switchboard and panels appear to be original equipment (circa 1950). No cable TV service. Emergency lighting inverter to provide backup power to selected lighting circuits, according to staff.					
B) Mandatory						
i) EXTERIOR LIGHTING						
Existing System	Exterior building lighting provided by wallpacks and floodlights, surface square dropped lens at covered walkways.					
1 Existing Deficiency	Inadequate exterior lighting provided, walkways dark as noted by staff.					
Recommended Remedy	Add exterior walkway fixtures, and replace (E) w/ LEDs. Add uplight at Play Yard Oak Tree.		20	EA	\$850	\$17,000
2 Existing Deficiency	No exterior emergency lighting provided for emergency egress.					
Recommended Remedy	Add exterior battery pack fixtures for minimum code coverage		10	EA	\$375	\$3,750
C) Deferred Maintenance						
i) FIRE ALARM /DETECTION						
Existing System	Simplex control and expander panels, strobes, detectors are recent system upgrades					
1 Existing Deficiency	Simplex panel is not preferred manufacturer Problems with false alarms, faulty detectors reported.					
Recommended Remedy	Replace fire alarm panel with district preferred manufacturer (Firelite)		1	EA	\$16,000	\$16,000
ii) TELEPHONE/DATA SYSTEM						
Existing System	Rack mounted Rauland telephone system					
1 Existing Deficiency	Fewer panel problems reported at this site.					
Recommended Remedy	Replace Rauland system with District standard VOIP.		1	EA	\$38,000	\$38,000
2 Existing Deficiency	Surface raceway in several locations has broken pieces.					
Recommended Remedy	Replace broken raceway		50	LF	\$18	\$900

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CATEGORY		DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF		COST / UNIT	TOTAL COST
				Quantity	Unit		
3	Existing Deficiency	Add data distribution equipment, including fiber optic panels, patch panels, switches and wireless data transmitters, to accommodate new data outlets note above					
	Recommended Remedy	Add data distribution equipment to activate all data outlets		8	Units	\$1,500	\$12,000
iii) BELL/CLOCK/SPEAKER SYSTEM							
	Existing System	Rack mounted Rauland bell/clock/speaker system is recent upgrade					
1	Existing Deficiency	Fewer panel problems reported at this site. Bell and speaker functions performed via telephone system.					
	Recommended Remedy	Replace Rauland system with District standard VOIP.		18,150	SF	\$2.00	\$36,300
iv) SECURITY SYSTEM							
	Existing Deficiency	No Security system appears to be provided					
	Recommended Remedy	Add District standard Security system		28,000	SF	\$1.50	\$42,000
v) INTERIOR LIGHTING							
	Existing System	Surface wraparound lensed 1x4 fluorescent fixtures in typical classrooms and offices, recessed square downlights and surface drumlights in hallways, surface 1x4 in basement.					
1	Existing Deficiency	Fixtures appear to be older, with T8 or T12 lamps and magnetic ballasts.					
	Recommended Remedy	Replace with energy efficient T5 lamps and electronic ballasts.		18,150	SF	\$2	\$36,300
2	Existing Deficiency	Fixtures observed with broken or missing lenses.					
	Recommended Remedy	Replace lenses		25	EA	\$25	\$625
3	Existing Deficiency	Some occupancy sensors observed, local room switches are typical classroom and office lighting controls					
	Recommended Remedy	Replace toggle switches with ultrasonic/infrared room occupancy sensors		28,000	SF	\$0.35	\$9,800
vi) EXIT SIGNS							
	Existing System	Exit signs and dual head battery packs observed					
1	Existing Deficiency	Fixtures observed with broken or missing lenses. Several exit signs are outdated and not furnished with battery backup.					
	Recommended Remedy	Replace exit signs		6	EA	\$400	\$2,400

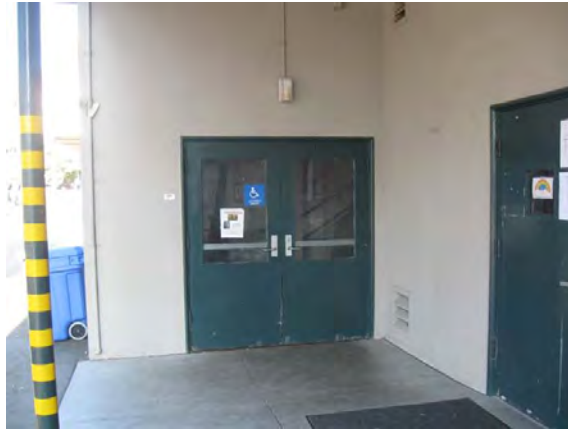
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				Quantity	Unit		
2	Existing Deficiency	Inadequate number of emergency egress fixtures were observed, according to staff inverter provides emergency backup power for egress lighting.					
	Recommended Remedy	Add dual head battery packs at egress paths		12	EA	\$375	\$4,500
vii) POWER							
1	Existing Deficiency	Main panel, sub panels and feeders are unreliable					
	Recommended Remedy	Replace with new Main panel, conduit, feeders, and sub-panels		1	EA	\$45,000	\$45,000
		Replace existing 400amp, 120/208volt main switchboard with new 800amp, 120/208volt utility service and main switchboard.		1	EA	\$12,500	\$12,500
		Replace existing panelboards with new panelboards (42pole, 100amp, 120/208volt, 3phase, with Transient Voltage Surge Suppression) and new feeders from switchboard		4	EA	\$4,700	\$18,800
2	Existing Deficiency	In some areas, devices are missing coverplates with data or power cables exposed.					
	Recommended Remedy	Replace coverplates, and add (6) elect. & data outlets at each classroom		8	EA	\$25	\$200
		Add 6 data outlets to each classroom (6 x 13 classrooms)		78	EA	\$400	\$31,200
3	Existing Deficiency	Inadequate power distribution for receptacles for data system as noted above					
	Recommended Remedy	For added receptacles noted above, install new panelboard (42pole, 100amp, 120/208volt, 3phase, with Transient Voltage Surge Suppression) and new feeder from switchboard		2	EA	\$4,700	\$9,400
5) Structural							\$315,000
1	Existing Deficiency	Building A Classrooms concrete shear walls appear to have inadequate reinforcement (spacing = 20"oc)					
	Recommended Remedy	Provide additional shear wall bracing	ALLOW	1	LS	\$175,000	\$175,000
2	Existing Deficiency	Building B Classroom has no seismic gap from adjacent 2 story Classroom Building					
	Recommended Remedy	*Provide Moment Frame & Seismic Joint	ALLOW	1	LS	\$140,000	\$140,000
Sub-Total							\$2,109,488
* NEEDS FURTHER INQUIRY FOR ACCURATE ESTIMATE							
SOFT COSTS @ 25%							\$527,372
TOTAL COSTS (not including escalation)							\$2,636,859

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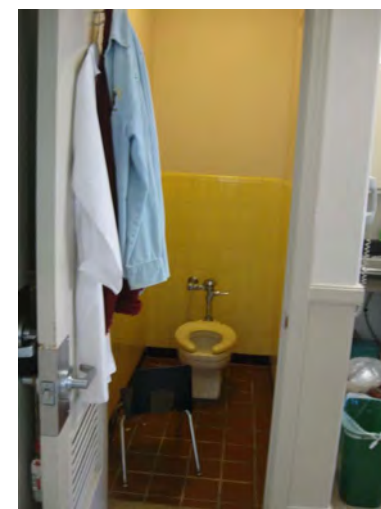
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