

# PROJECT PROFILE: FOOD SERVICES WAREHOUSE

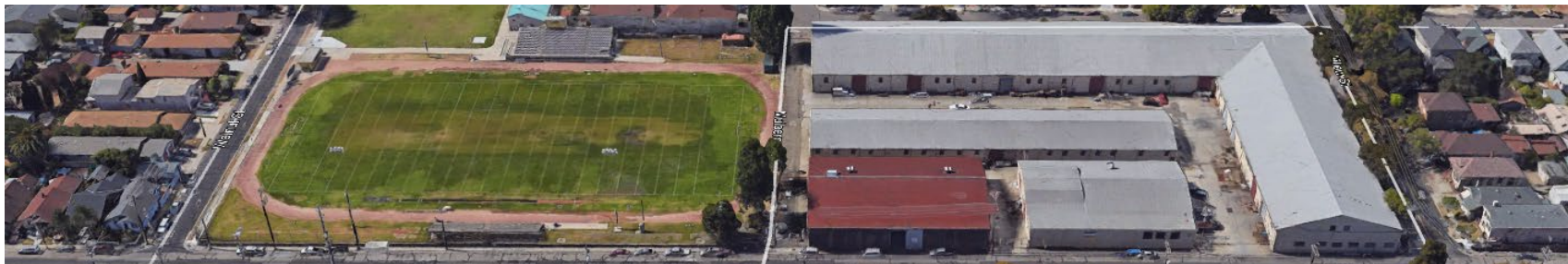
## Property History and Status of Site

The District's Food Services Warehouse is located adjacent to Thompson Field at 2146 Clement Avenue. A recent appraisal indicates the parcel is 0.38 acres. The warehouse is in poor condition. It is a storage and distribution warehouse and not used for food preparation. The site is surrounded to the north and to the west by a 52-unit residential development developed by City Ventures. The construction is almost complete, and a number of units are already occupied.

## Site and Market Opportunities and Constraints

Previous analysis indicated that the Food Services Warehouse cannot be a part of a solution to developing a regulation-sized track and field on Thompson Field without requiring a portion of the City Ventures property. The City Ventures project is complete, and therefore any changes to the use of that property are not feasible. District Staff would like to combine the Food Services Warehouse and the Maintenance Yard in one facility, although that potential does not exist at this site.

The current zoning is O (Open Space District) with a General Plan mixed use designation. If AUSD wants to sell this parcel, it would be more valuable if rezoned. With AUSD as the applicant, it could be a fairly straightforward process and is estimated to take approximately six months. The City would hire an EIR consultant, but the District would need to fund the effort.





## Proposed Preliminary Strategy

If a new Food Services Warehouse can be combined with a Maintenance Yard facility and located at Longfellow Elementary School, there would be near-term potential to sell this site to a residential developer and generate revenue for the District.

With the conveyance of 240 and 250 Singleton Avenue from the Navy to the District, the Woodstock Child Development Center (WCDC) and Island High School can potentially be relocated from Longfellow Elementary School to the Singleton parcels. Once Longfellow has been vacated, the site would be available for a combined Maintenance Yard and Food Services facility. The Longfellow site is centrally located with good access to AUSD schools. The Food Services Warehouse on Clement Avenue would then be available for disposition.

Disposition of the Food Services Warehouse site would generate revenue to support the work needed at Longfellow to accommodate a new Maintenance Yard and Food Services facility, and this proposed strategy would potentially generate additional funding for the facility improvements needed at Singleton school sites.

## Proposed Strategic Actions

