

Woodstock Education Center (Woodstock ES)

SUMMARY OF SCHOOL CAMPUS

- **Address:** 1900 Third Street., Alameda, CA 94501
- **BASE Director - Phone:** Sheila Sathe-Warner - (510) 748 4314
- **Island H.S. Director - Phone:** Alysse Castro - (510) 748-4024
- **Year Built:** 1950
- **Total Site Area:** 5.20 acres
- **Building Area:** 33,690 sf
- **Portables:** 14,070 sf

FACILITY DESCRIPTION

The Woodstock Education Center is the current home of the Bay Area School of Enterprise (BASE), a charter school for grades 9 thru 12, a Pre-School facility (2-5 years), occupying the original Kindergarten wing and Play Yard, and Island High School, the District's Alternative (9 thru 12) High School. This campus is comprised of 6 classroom wings, a Multi-Purpose building, a toilet/janitor building, and the Administration wing, all built in 1950, and named for the village of Woodstock, which was the western terminus of the first transcontinental railroad. The buildings are concrete pad foundations, with wood framed, cement plastered walls and built-up roofing with tar and gravel top coat. In 2001 most buildings were modernized campus wide to receive seismic, fire alarm, restroom, and site accessibility upgrades.

Over the last 30 years, the District placed 9 portable buildings in the paved playground/ parking area, and a 9-unit modular building currently occupied by Community Programs. In 2012, (5) portable units were demolished, adjacent to the recently built Boys and Girls Club building located east of the parking lot, on land donated by the District.

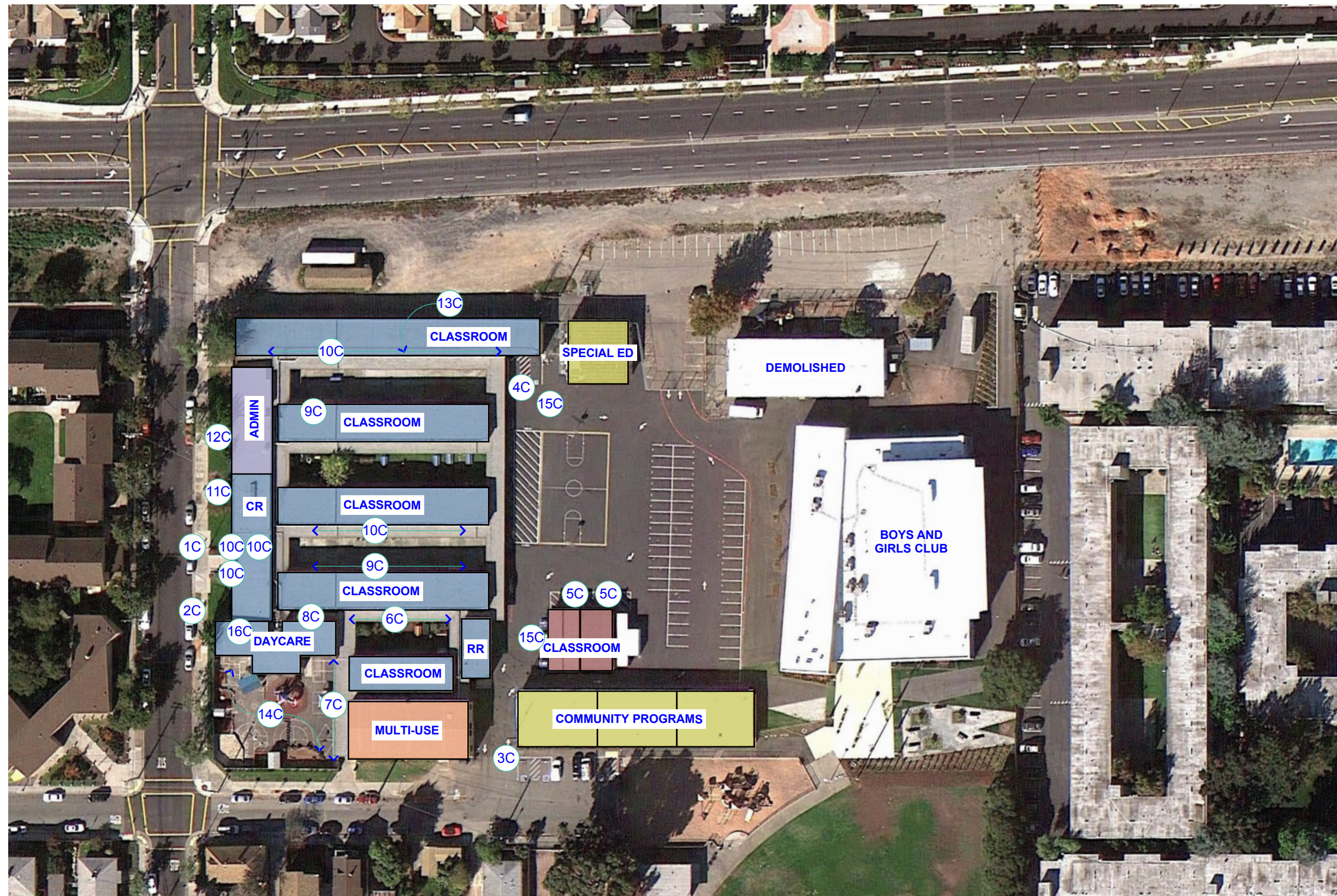
ISSUES OF CONCERN

As one of the District's oldest facilities, Woodstock has several structural issues that require further analysis in order to provide an accurate estimate for extending the service life of this facility another 10 years. As noted in Architectural spreadsheet item 2A, (ii) #1, we recommend an overall site geotechnical report to determine the most cost effective way to stabilize these buildings, given the persistent and ongoing soil subsidence. The Multi-Use building has a 90-ft.

roof span to shear wall connection, as noted in Structural, items #2 & #3, and also need additional structural analysis. Given the current enrollment of this campus for all (3) programs at approximately 300 students, the District must decide the cost effectiveness of improving and maintaining this facility for its long term needs.

KEY ASSESSMENT ITEMS

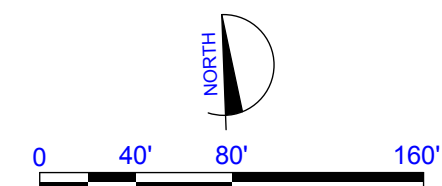
- Native soil subsidence between building foundations
- Uneven settlement of corridor structures
- Deferred maintenance of exposed wood structures, doors, and windows
- Degradation of exposed hot water piping insulation and electrical/data conduits
- Accessibility to some key areas



- CLASSROOM BUILDING
- ADMINISTRATION
- MULTI-PURPOSE / CAFETERIA BUILDING
- MODULAR BUILDING
- PORTABLE BUILDING
- COVERED WALKWAYS
- #C SEE ASSESSMENT SPREADSHEET FOR CIVIL KEYNOTES, TYP.

Woodstock Education Center
4/30/2012

Alameda USD Facilities Assessment



Woodstock Alternative Education Center

Facility Assessment Spreadsheet

CATEGORY	DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF Quantity Unit	COST / UNIT	TOTAL COST
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1)	Civil				\$1,023,228
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A) Existing Site Conditions

i)	ACCESS					
	Existing Deficiency	There is persistent and on-going soil subsidence at this campus, principally at the pavement and landscape areas between building pads.				
	Recommendation	Commission a Geotechnical Report with extensive soil boring and testing by a Consultant well versed in Bay Fill projects, prior to planning any work to remedy the subsidence issue.		1	LS	\$60,000
1	Existing Deficiency	ADA student unloading zone in Third Street does not meet standards for configuration and signage.	1C			
	Recommended Remedy	Remove the curb, gutter, and 5 ft of sidewalk along the length of the stall, and beyond for a pedestrian ramp per Caltrans standard. Install 5 ft of paving for a new unloading zone, and new curb and gutter, and a pedestrian ramp at the south end per Caltrans detail. Update all signage and restripe. No practical fix for the excessive cross slope in the public street.		40	SF	\$50
						\$2,000
2	Existing Deficiency	The ADA parallel parking stall in Third Street does not meet standards for configuration and signage.	2C			
	Recommended Remedy	Remove the curb, gutter, and 5 feet of sidewalk along the length of the stall, and the existing pedestrian ramp located to the north of the stall. Install 5 ft of paving for a new unloading zone, and new curb and gutter, and a pedestrian ramp at the north end per the Caltrans detail. Update all signage, and restripe. No practical fix for the excessive cross slope in the public street.		40	SF	\$50
						\$2,000
3	Existing Deficiency	There is no ADA parking lot entrance sign to the lot at Third Street	3C			
	Recommended Remedy	Add ADA parking lot entrance signage.		400	SF	\$6
						\$2,400

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CATEGORY		DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF		COST / UNIT	TOTAL COST
				Quantity	Unit		
4	Existing Deficiency	The signage on the ADA stalls at this location is out of date.	4C				
	Recommended Remedy	Add "\$250 fine" signs.		2	EA	\$250	\$500
5	Existing Deficiency	Landings at bottom of ramps have excessive slope.	5C				
	Recommended Remedy	Overlay pavement to create level landing, and transitions to surrounding pavement at 5% maximum.		72	SF	\$10	\$720
6	Existing Deficiency	All classroom doors along this corridor have thresholds 2" higher than concrete walks, with non-compliant "mini ramp" transitions.	6C				
	Recommended Remedy	remove and replace existing flatwork level with finished floors, and with 2% max. cross slope.		1,200	SF	\$7	\$8,400
7	Existing Deficiency	This corridor has uneven longitudinal slope transitions, and excessive cross slope conditions along it's entire length.	7C				
	Recommended Remedy	Remove existing flatwork in this corridor, and regrade for 5% transitions down at both ends, and 2% max cross slope between transitions.		1,300	SF	\$7	\$9,100
8	Existing Deficiency	6% slope on existing ramp between levels with no handrails.	8C				
	Recommended Remedy	Add handrails to existing ramps.		60	LF	\$32	\$1,920
9	Existing Deficiency	6" high landings at 4 doors on this side of building, with step down to play areas.	9C				
	Recommended Remedy	Add 5% walkways or 8.33% ramps with railings, parallel to building, to transition slope down to play area grade.		900	SF	\$13	\$11,700
10	Existing Deficiency	Doors along the corridors have thresholds 2" higher than concrete walks, with non-compliant "mini ramp" transitions.	10C				
	Recommended Remedy	In most locations, there appears to be sufficient width to remove existing flatwork at/near the doors, install compliant landings, and 5% max slope walks down to match existing flatwork grade. Alternatively, remove all flatwork in these areas and reconstruct at a higher elevation to match the floors.		6,000	SF	\$13	\$78,000

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			Quantity	Unit		
11 Existing Deficiency	This exterior door has only a landing and stairs, and is therefore not accessible.	11C				
Recommended Remedy	Remove stairs and stair railings. Construct walk @5% max slope to street.		320	SF	\$22	\$7,040
12 Existing Deficiency	There is no level landing at these main exit doors.	12C				
Recommended Remedy	Remove landing and at least 15 ft of existing walk. Replace with level landing at doors and walk at 5% max to conform.		156	SF	\$13	\$2,028
13 Existing Deficiency	Existing corridor transition is 8.3% without railings.	13C				
Recommended Remedy	Add railings to existing ramp.		60	LF	\$32	\$1,920
14 Existing Deficiency	Pavement deteriorated at Daycare Play yard	14C				
Recommended Remedy	Grind, regrade, repave and restripe.		5,700	SF	\$6.00	\$34,200
ii) FIRE/LIFE SAFETY/HAZ MAT						
1 Existing Deficiency	No fire hydrants on east side of buildings.	15C				
Recommended Remedy	Add private fire service with hydrants at southwest and northwest sides of east parking lot.		2	EA	\$55,000	\$110,000
2 Existing Deficiency	The interconnected nature of the buildings will likely result in a large fire area, and correspondingly high required fire flows, which the surrounding hydrants may not be able to meet.					
Recommended Remedy	Add fire sprinklers to existing buildings to reduce required fire flow.		33,690	SF	\$20	\$673,800
iii) UTILITIES						
1 Existing Deficiency	Sewer line serving this toilet room requires frequent maintenance.	16C				
Recommended Remedy	Clean and video inspect sewer line. Repair any damage revealed.		100	LF	\$175	\$17,500

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CATEGORY	DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF Quantity	Unit	COST / UNIT	TOTAL COST
2) Architectural						\$2,586,410
A) Exterior						
i) ACCESS						
1	Existing Deficiency	Island HS Classrooms: concrete ramps at entry doors are non-accessible	#1, #2, #3			
	Recommended Remedy	Per current Code, side slopes cannot exceed 5%; remove and replace with concrete per Civil Item # 6		600	SF	\$25
						\$15,000
2	Existing Deficiency	Corridor Ramp: Exceeds 5%	#4			
	Recommended Remedy	Add wall mounted handrails		2	EA	\$640
						\$1,280
3	Existing Deficiency	Concrete Pavement: Persistent subsidence between classroom wings, creates non-compliant cross slopes and trip hazards	#5, #7, #8			
	Recommended Remedy	Remove, regrade, and repave where non-compliant per Civil item #11		760	SF	\$22
						\$16,720
4	Existing Deficiency	Asphalt Pavement: Persistent subsidence in parking/ playgrounds cause surface damage and trip hazards	#6, #9, #10			
	Recommended Remedy	Grind, regrade and repave worst areas; Reseal the rest of asphalt. Repave = 18,000 sf; Reseal area = 10,000 sf		18,000	SF	\$6.50
						\$117,000
ii) DEFERRED MAINTENANCE						
1	Existing Deficiency	Landscape Areas: Persistent soil subsidence between classrooms	#7			
	Recommended Remedy	Since this is campus wide, investigate with geotechnical site sampling and report. Repave at egress doors as required in the short term	#17	22	EA	\$2,000
						\$44,000
2	Existing Deficiency	Bldg & Corridor Roofing : top-ply delamination and moisture penetration; damaged rain gutter and water leaders	#11, #12, #13, #18			
	Recommended Remedy	Replace all roofs with new 30-yr BUR w/ Cool roof coating. Add site drainage and new RWLs throughout.		33,690	SF	\$9
						\$303,210
3	Existing Deficiency	Corridor Framing & Skylights: extreme paint damage with roof sheathing dry rot; glazed skylights leak	#14, #15, #19			
	Recommended Remedy	Repair/replace framing, allow 20% for dry rot; remove skylights and replace with LED ceiling fixtures		10,200	SF	\$15
						\$153,000

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			Quantity	Unit		
4	Existing Deficiency	Roof Mounted Conduit & Piping: HW insulation and covers missing; power and data conduit and boxes unsafe	#16, #21			
	Recommended Remedy	Remove all conduit/piping; replace with HV high efficiency package units on roof. Incorporate new power/ data conduit into corridor ceiling framing	33,690	SF	\$2	\$67,380
5	Existing Deficiency	Play Yard/ Parking: no physical separation between play ground and parking stalls and traffic.	#22, #23, #24			
	Recommended Remedy	Add curb and fencing to isolate basketball courts	260	LF	\$30	\$7,800
6	Existing Deficiency	Exterior Doors: wood doors/frames at end of service life	#2, #20			
	Recommended Remedy	Replace all ext. doors with galv.metal frame and FRP doors	64	Doors	\$4,400	\$281,600
7	Existing Deficiency	Exterior windows w/ Plexiglas beyond Service life				
	Recommended Remedy	Replace all windows with Alum. frame & dual pane glass	4,200	SF	\$44	\$184,800
8	Existing Deficiency	No Trash Enclosure at this Site				
	Recommended Remedy	Install a 2-Bin Trash Enclosure per Health Dept. standards	1	LS	\$15,000	\$15,000
9	Existing Deficiency	Exterior painted finish is deteriorated				
	Recommended Remedy	Reseal and repaint all exterior walls, trims fascia, etc.	33,690	SF	\$2	\$67,380
10	Existing Deficiency	BASE Portables: wood foundation plates in process of dry rot from downspouts; missing vent screens;	#25, #26, #28, #31			
	Recommended Remedy	Install on new concrete footings and ramps, add site drainage, new RWLs, and vent screens.	2	Lot	\$9,000	\$18,000
11	Existing Deficiency	Special Ed Modular: wood paneling/ trim has deteriorated	#29, #32, #33			
	Recommended Remedy	Replace siding/ trim with cement board paneling/ trim and repaint. Replace with new concrete ramps	1,920	SF	\$17	\$32,640
12	Existing Deficiency	Community Modulares: missing foundation vent screens; deteriorated metal and wood exteriors; at end of service life	#30, #34, #35, #36			
	Recommended Remedy	Demo and replace with permanent classrooms and toilets	7,700	SF	\$104	\$800,800

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CATEGORY		DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF		COST / UNIT	TOTAL COST
Quantity		Unit					
B) Interior							
i) GENERAL & MAINTENANCE							
1	Existing ADA Deficiency	Student Toilet Rooms: sinks are missing accessible pipe cushion boots; Boys missing accessible urinal; fixtures beyond service life	#39, #40, #41				
	Recommended Remedy	Remodel Toilets complete; new wall tile, epoxy floor/cove, and fixtures		16	EA	\$16,000	\$256,000
2	Existing ADA Deficiency	All Classroom sinks non-compliant	NA				
	Recommended Remedy	Replace with new cabinets and sinks		24	sinks	\$7,500	\$180,000
3	Existing ADA Deficiency	Staff Toilets: non accessible	#37, #38				
	Recommended Remedy	Reconfigure and replace fixtures		2	EA	\$3,400	\$6,800
4	Existing Deficiency	Multi-Purpose: Kitchen is non accessible with wall covering and cove base Health Code violation	#42, #43				
	Recommended Remedy	Replace cabinets, flooring. Cove base and wall finish. Relocate HW heater to cabinet space.		1	Kitchen	\$18,000	\$18,000
5	Existing Deficiency	Classroom/ Corridor flooring at end of service life					
	Recommended Remedy	Replace all flooring with resilient flooring, and walk-off Entry carpet mat.		33,690	SF	\$5	\$168,450
6	Existing Deficiency	Deteriorated interior painted walls and trim finish					
	Recommended Remedy	Repaint all interior walls, trims, doors, and other painted items		33,690	SF	\$2	\$67,380
Mechanical / Plumbing							\$590,560
C) Exterior							
i) SITE SYSTEMS							
1	Energy Management	campus energy management system, i.e. ddc, does not exist					
	Recommended Remedy	add campus wide ddc control and create district standard for energy control systems		33,690	SF	\$2	\$67,380
3	Existing Deficiency	some toilet rooms and drinking fountains have been upgraded to meet ADA requirements, although they are showing signs of wear.					
	Recommended Remedy	replace (12) fixtures.	ALLOW	12	EA	\$4,000	\$48,000

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CATEGORY		DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF		COST / UNIT	TOTAL COST
				Quantity	Unit		
5	Existing Deficiency-site mechanical	radiant systems were abandon and replaced with overhead piping systems with baseboard heaters. Site piping on roofs shows signs of heavy wear and abuse and are poorly supported. Boiler, (Parker) is in fair condition, but nearing end of life. Pumps and piping seals are leaking					
	Recommended Remedy	removed all site hydronic piping on roofs, boilers, pumps, and all related equipment completely. Replace with new high efficiency roof top ac units and ductwork. One unit per classroom. throughout.		33,690	SF	\$10	\$336,900
B) Interior							
i) EXISTING SYSTEMS							
1	Existing Systems-Daycare	used to be kitchen, heating systems are baseboard, controls are pneumatic, systems are old and inefficient.					
	Recommended Remedy	replace with high efficiency rooftop packaged ac units and controls		160	SF	\$28	\$4,480
2	Existing Deficiency-SE Toilet	vintage, with original equipment, non ada					
	Recommended Remedy	bathrooms require complete ada modernization, including new toilets, urinals, flush valves, sinks, faucets and exhaust fans, complete, (see Item Arch B, 1 above). Replace all plumbing fixtures, complete, including, urinals (0.125 gpf), water closets (1.28gpf), and lavatories (0.5gpm) to bring into current code compliance and reduce water consumption. ADD (3) Staff Toilets to Total Replacement		840	SF	\$95.00	\$79,800
3	Existing Deficiency-Multiuse	air handler, ductwork, and controls are all original and beyond useful life					
	Recommended Remedy	replace system completely with new roof mounted make up air units, gas fired, (reznor or eq.), ductwork and controls. Remove all piping, boilers, and related equipment.		4,500	SF	\$12	\$54,000

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CATEGORY		DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF		COST / UNIT	TOTAL COST
				Quantity	Unit		
4) Electrical							\$556,816
A) General							
i) EXISTING SYSTEMS							
	Existing System	School Modernization in in 2001 included upgrades to tele communication, clock, security, and fire alarm systems. Main Switchboard is original equipment (circa 1950) No cable TV service.					
B) Mandatory							
i) EXTERIOR LIGHTING							
	Existing System	Exterior building lighting provided by wallpacks and floodlights, surface square dropped lens at covered walkways.					
1	Existing Deficiency	Inadequate exterior lighting provided, walkways dark as noted by staff.					
	Recommended Remedy	Add (20) and replace (E) exterior walkway fixtures; Add (3) 16-ft pole lights at BB Court/ Parking Area		3	EA	\$16,000	\$48,000
				45	EA	\$800	\$36,000
2	Existing Deficiency	No exterior emergency lighting provided for emergency egress.					
	Recommended Remedy	Add exterior battery pack fixtures for minimum code coverage.		20	EA	\$375	\$7,500
C) Deferred Maintenance							
i) FIRE ALARM /DETECTION							
	Existing System	Notifier control and expander panels, strobes, detectors are recent system upgrades					
1	Existing Deficiency	Several restrooms not furnished with strobe devices					
	Recommended Remedy	Add strobes		4	EA	\$650	\$2,600
2	Existing Deficiency	Notifier panel is not preferred manufacturer					
	Recommended Remedy	Replace fire alarm panel with district preferred manufacturer (Firelite)		1	EA	\$15,200	\$15,200
ii) TELEPHONE/DATA SYSTEM							
	Existing System	Rack mounted Rauland telephone & data system.					
1	Existing Deficiency	Rauland telephone system is faulty and is not preferred manufacturer.					
	Recommended Remedy	Replace Rauland system with District standard VOIP.		1	EA	\$65,000	\$65,000

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CATEGORY		DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF		COST / UNIT	TOTAL COST
				Quantity	Unit		
2	Existing Deficiency	In some classrooms, plastic floor thresholds used to cover data cables to tables and work stations.					
	Recommended Remedy	Add data outlets to eliminate use of thresholds		25	EA	\$450	\$11,250
3	Existing Deficiency	In Multi Purpose room, signal cables are hung loosely on walls.					
	Recommended Remedy	Add new surface raceway for cables		100	LF	\$24	\$2,400
4	Existing Deficiency	Surface raceway in several locations has broken pieces, loose data cable.					
	Recommended Remedy	Replace broken raceway		100	LF	\$24	\$2,400
5	Existing Deficiency	Add data distribution equipment, including fiber optic panels, patch panels, switches and wireless data transmitters, to accommodate new data outlets note above					
	Recommended Remedy	Add data distribution equipment to activate all data outlets		5	EA	\$1,500	\$7,500
iii)	BELL/CLOCK/SPEAKER SYSTEM						
	Existing System	Existing bell/clock/speaker system appears to be original equipment (circa 1950)					
1	Existing Deficiency	System is outdated, parts and service not available Minimal bell functions, clock/speaker not working.					
	Recommended Remedy	Replace Rauland system with District standard VOIP.		33,690	SF	\$2	\$67,380
iv)	INTERIOR LIGHTING						
	Existing System	Surface wraparound 2x4 fluorescent fixtures in typica classrooms, surface wraparound 1x4 fluorescent in offices & halls, surface wraparound 2x4 fluorescent in Mutli Purpose Room.					
1	Existing Deficiency	Fixtures are older, with T8 or T12 lamps and magnetic ballasts.					
	Recommended Remedy	Replace with energy efficient T5 lamp and electronic ballast Fixtures.		33,690	SF	\$1.55	\$52,220
2	Existing Deficiency	Light switches not operating in Multi Purpose Room, and other locations					
	Recommended Remedy	Replace all switches new occupancy sensor switches and wiring		6	EA	\$500	\$3,000
3	Existing Deficiency	Fixtures observed with broken or missing lenses.					
	Recommended Remedy	Replace lenses (Included above)		20	EA		\$0

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4	Existing Deficiency	Some occupancy sensors observed, local room switches are typical classroom and office lighting controls					
	Recommended Remedy	Replace toggle switches with ultrasonic/infrared room occupancy sensors		33,690	SF	\$0.35	\$11,792
v) EXIT SIGNS							
	Existing System	Exit signs and dual head battery packs observed					
1	Existing Deficiency	Fixtures observed with broken or missing lenses. Several exit signs are outdated and not furnished with battery backup, paper exit signs observed.					
	Recommended Remedy	Replace exit signs		25	EA	\$375	\$9,375
2	Existing Deficiency	Inadequate number of emergency egress fixtures were observed, according to staff generator provides emergency backup power for egress lighting.					
	Recommended Remedy	Add dual head battery packs at egress paths		20	EA	\$375	\$7,500
vi) POWER							
1	Existing Deficiency	Main Service: System is beyond service life. No parts/ breakers available					
	Recommended Remedy	Replace existing main switchboard (600amp, 120/208volt) with new 800amp, 120/208volt utility service and main switchboard		1	EA	\$12,000	\$12,000
		Replace existing panelboards with new panelboards (42pole, 100amp, 120/208volt, 3phase, with Transient Voltage Surge Suppression) and new feeders from switchboard		10	EA	\$4,700	\$47,000
2	Existing Deficiency	In some areas, ie, media center, classrooms, offices, plastic floor thresholds used to cover power cables to tables and work stations.					
	Recommended Remedy	Add power outlets to eliminate use of thresholds		25	EA	\$425	\$10,625
3	Existing Deficiency	In some areas, ie, media center, classrooms, offices, plastic surface raceway is broken and hanging loose from walls, with data and power cables exposed.					
	Recommended Remedy	Replace all raceways with aluminum track & covers		100	LF	\$22	\$2,200

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CATEGORY		DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF		COST / UNIT	TOTAL COST
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4	Existing Deficiency	In typical classrooms, inadequate quantity of receptacles/ data					
	Recommended Remedy	Provide 6 Data/Power drops per Classroom: Add (6) data outlets to each classroom (6x32classrooms) Add (6) receptacles to each classroom (6x32classrooms)		192	EA	\$350	\$67,200
5	Existing Deficiency	In typical kindergarten classrooms, tamperproof receptacles have not been provided.		192	EA	\$350	\$67,200
	Recommended Remedy	Replace with tamperproof receptacles		50	EA	\$25	\$1,250
6	Existing Deficiency	In some areas, devices are missing coverplates with data or power cables exposed.					
	Recommended Remedy	Replace coverplates		15	EA	\$15	\$225
7	Existing Deficiency	Inadequate power distribution for receptacles for data system as noted above					
	Recommended Remedy	For added receptacles noted above, install new panelboard (42pole, 100amp, 120/208volt, 3phase, with Transient Voltage Surge Suppression) and new feeder from switchboard		2	EA	\$4,700	\$9,400
5) Structural							\$67,000
1	Existing Deficiency	North longitudinal shear walls appear to be lacking in overall length					
	Recommended Remedy	Add Shear Walls		80	LF	\$800	\$64,000
2	Existing Deficiency	Multi-Purpose roof spans 90 feet to shear walls - not critical					
	Recommended Remedy	Additional structural analysis (fee only)		1	LS	\$3,000	\$3,000
Sub-Total							\$4,824,014
* NEEDS FURTHER INQUIRY FOR ACCURATE ESTIMATE							
SOFT COSTS @ 25%							\$1,206,004
TOTAL COSTS (not including escalation)							\$6,030,018