

Longfellow/ Woodstock Child Development Center

SUMMARY OF SCHOOL CAMPUS

- **Address:** 500 Pacific Avenue, Alameda, CA 94501
- **Director - Phone No. :** Carol Barton, (510) 748-4001
- **Year Built:** CDC Bldgs: 1942 NEA 2-story Wing: 1951
- **Total Site Area:** 2.80 acres
- **Building Area:** 33,480 sf
- **1 Modular:** 1,702 sf

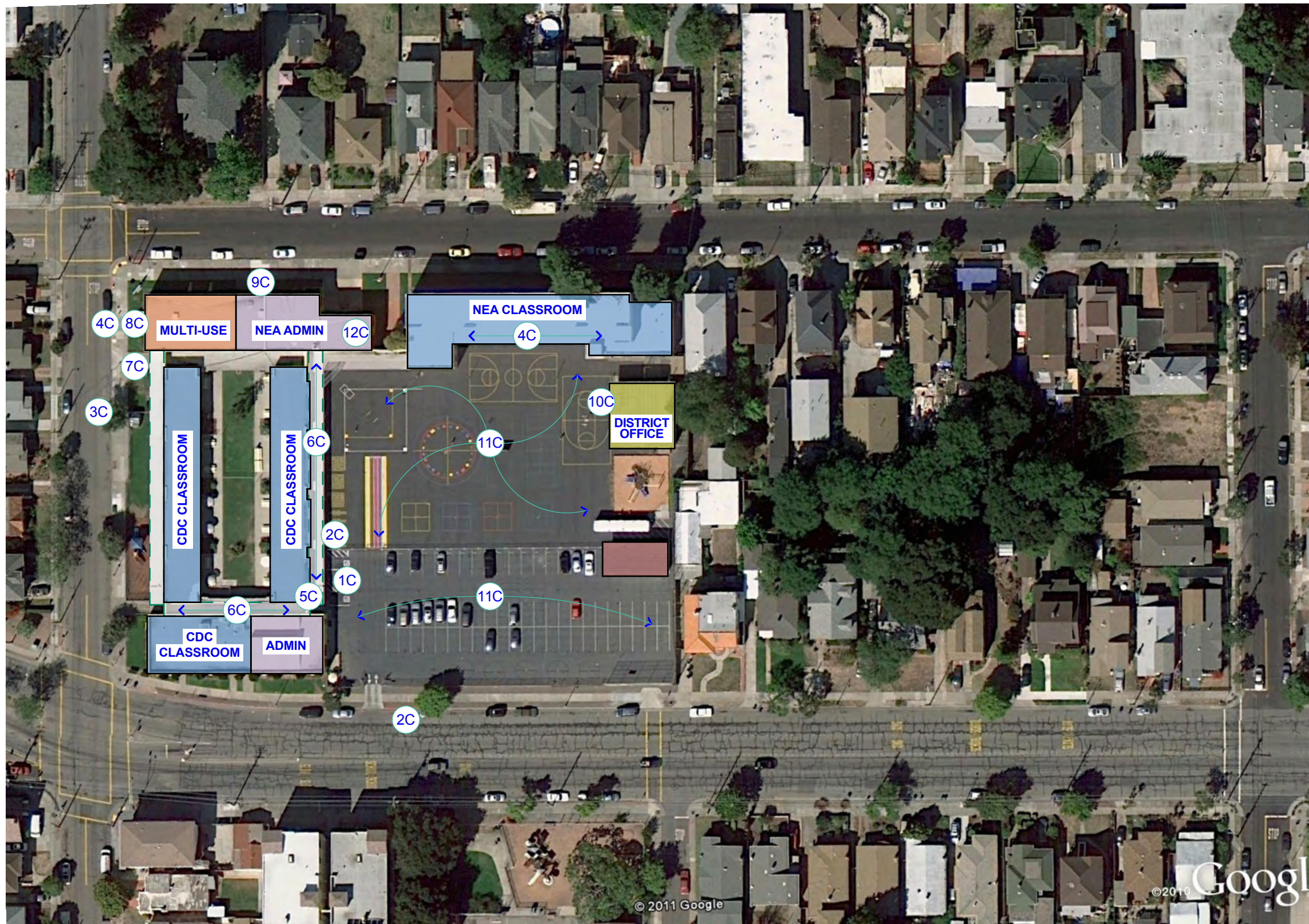
FACILITY DESCRIPTION

The Woodstock Child Development Center has been a continuous District program since 1943, to serve special needs students ranging from 18-months to 11 years of age on a year round basis. It currently serves 210 children, in the original 1942 Longfellow School 1-story buildings. It shares this site with the Nea Community Learning Center, which is a District public charter school. The NEA program serves 248 (6th-8th) students in the adjacent 2-story wing constructed in 1951.

The original Administration and classroom wings are almost identical to the Edison School buildings and similarly constructed. The Multi-purpose building was seismically retrofitted at an unknown date and serves as the cafeteria and gym. The 2-story Nea building appears to have been seismically upgraded in 2001 at the same time the elevator was added. Other modernization improvements included accessible barrier removal, restroom and fire alarm upgrades, play structure addition and campus wide repainting. In 1991, the Bldg. F Modular was added as a Library/ Media center, but currently serves as a District Conference Room.

KEY ASSESSMENT ITEMS

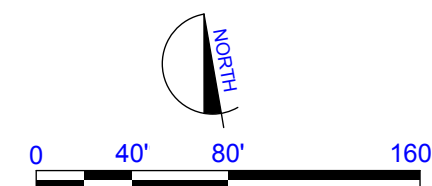
- Playground and parking lot asphalt is seriously deteriorated.
- Severe plaster cracking at Multi-purpose building
- Interconnected nature of fire area requires addition of fire sprinklers
- Exterior windows, doors and finishes have exceeded service life
- Interior floor and wall finishes have exceeded Service life
- Mechanical and plumbing fixtures have exceeded service life.



- CLASSROOM BUILDING
- ADMINISTRATION
- MULTI-PURPOSE / CAFETERIA BUILDING
- MODULAR BUILDING
- PORTABLE BUILDING
- COVERED WALKWAYS
- #C SEE ASSESSMENT SPREADSHEET FOR CIVIL KEYNOTES, TYP.

LONGFELLOW/WCDC & NEA
4/30/2012

Alameda USD Facilities Assessment



Longfellow/ Woodstock C.D.C. & NEA

Facility Assessment Spreadsheet

CATEGORY		DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF		COST / UNIT	TOTAL COST
				Quantity	Unit		
1) Civil							\$1,088,556
A) Existing Site Conditions							
i) ACCESS							
1	Existing Deficiency	Signage for ADA stalls is mounted too high.	1C				
	Recommended Remedy	Remove signage from roof and mount on fence or on free standing poles at standard height.		1	EA	\$250.00	\$250
2	Existing Deficiency	Parking lot ADA entrance sign not located at parking lot entrance.	2C				
	Recommended Remedy	Remove parking lot entry sign from roof, and mount on pole at entrance to parking lot. Fill in phone number where cars can be reclaimed.		2	EA	\$350.00	\$700
3	Existing Deficiency	Parallel ADA stall in Fifth Street has excessive cross slope, out of date signage, and lacks required unloading zone flush with pavement.	3C				
	Recommended Remedy	Remove approximately 26 ft of curb and gutter, and 5 ft width of sidewalk. Install new 5 ft paved unloading zone flush with pavement, and new 6" curb, with pedestrian ramp at north end per Caltrans standard. Update signage to current standards. Remove existing curb ramp at north end of ADA stall and replace with standard curb, gutter, and walk.		130	SF	\$22.00	\$2,860
4	Existing Deficiency	Designated ADA student drop off zone lacks unloading zone flush with pavement, has out of date signage, non-compliant pedestrian ramp, and excessive cross slope (public street).	4C				
	Recommended Remedy	Remove approximately 26 ft of curb and gutter, and 5 ft width of sidewalk. Install new 5 ft paved unloading zone flush with pavement, and new 6" curb, with pedestrian ramp at south end per Caltrans standard. Update signage to current standards. No practical fix for excessive cross slope in public street.		260	SF	\$22.00	\$5,720

Longfellow/ Woodstock C.D.C. & NEA

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CATEGORY	DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF		COST / UNIT	TOTAL COST
			Quantity	Unit		
5 Existing Deficiency	Existing ramp to classroom level slopes at 6.8% and has no railings.	5C				
Recommended Remedy	Add railings to existing ramp.		100	LF	\$32.00	\$3,200
6 Existing Deficiency	Existing walkways fronting classroom doors have 2.7% cross slope. At classroom doors, non-compliant 4% cross slope landings have been provided.	6C				
Recommended Remedy	Remove sidewalks and landings and reconstruct with 2% max. cross slope starting at door thresholds. In some locations, it may be possible to address this issue with a leveling compound in lieu of removal and replacement.		3,360	SF	\$14.00	\$47,040
7 Existing Deficiency	Existing ramp slopes at 9.4%.	7C				
Recommended Remedy	Remove and replace ramp and handrails to reduce ramp slope to 8.3% max. There appears to be space to lengthen ramp towards building to reduce it's slope.		400	SF	\$22.00	\$8,800
8 Existing Deficiency	Landing at doors has 4.3% cross slope.	8C				
Recommended Remedy	Remove landing and stairs. Replace with landing at 2% max and new stairs with equal riser height. Replace stair railings.		400	SF	\$25.00	\$10,000
9 Existing Deficiency	Ramp slope at exit is a consistent 17% from threshold of doors to back of public sidewalk.	9C				
Recommended Remedy	Remove existing ramp and railings. Construct new 5 ft level landing at exit doors, and new ramp at 1:12 max slope with railings, to the west along the face of the building. Construct level landing at bottom of ramp to connect to existing public sidewalk		144	SF	\$22.00	\$3,168
10 Existing Deficiency	Ramp at portable building has a slope of 8.7%.	10C				
Recommended Remedy	Raise pavement grade at bottom of ramp sufficiently to reduce ramp slope to 8.3% max. Be sure to create level landing at bottom of ramp with new pavement.		30	SF	\$30.00	\$900
11 Existing Deficiency	Pavement is significantly deteriorated.	11C				
Recommended Remedy	Fill cracks, install pavement fabric and 1.5" minimum overlay. Edge grind at perimeter for conforms.		56,053	SF	\$5.00	\$280,265

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Quantity		Unit					
ii) FIRE/LIFE SAFETY/HAZ MAT							
1	Existing Deficiency	The interconnected nature of the buildings will likely result in a large fire area, and correspondingly high required fire flows, which the surrounding hydrants may not be able to meet.	NA				
	Recommended Remedy	Add fire sprinklers to existing buildings to reduce required fire flow.		33,480	SF	\$20.00	\$669,600
iii) UTILITIES							
1	Existing Deficiency	This below street level area is reported to flood during heavy rain events, resulting in water entering the boiler room on the lower level of the school.	12C				
	Recommended Remedy	Clean and video inspect the storm drain, replace any line deficiencies. Convert (E) sump to a storm drain pumping station with a force main connection to the gravity main.		56,053	SF	\$1.00	\$56,053
2) Architectural							\$1,093,278
A) EXTERIOR							
i) ACCESS							
1	Existing Deficiency	Parking & Playground: asphalt cracking and damage w/ trip hazards	#1, #2, #3				
	Recommended Remedy	Grind existing, regrade and repave. Parking lot = 24,000 sf; Playground = 30,000 sf		See Civil Item #11			Included above
ii) DEFERRED MAINTENANCE							
1	Existing Deficiency	Admin/MP Bldg: stucco cracking; moisture penetration; assume extensive framing dry rot	#5, #6				
	Recommended Remedy	Replace wall/ plate framing (assume 20%); redesign exterior and apply metal cladding and new stucco		1,600	SF	\$20.00	\$32,000
2	Existing Deficiency	Chainlink Fence: east (18-ft) and south (6-ft) property line fencing is very rusted and unsafe	#28				
	Recommended Remedy	Replace chainlink fencing to match existing heights		2,600	SF	\$7.00	\$18,200
3	Existing Deficiency	CDC & NEA Admin. Bldgs: BUR roof at end of service life					
	Recommended Remedy	Replace roofs and corridors with new 30-yr BUR w/ cool roof coating		9,900	SF	\$9.00	\$89,100

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			Quantity	Unit		
4 Existing Deficiency	NEA 2-Story Wing: handrails at stairs are non-compliant	#7				
Recommended Remedy	Extend steel pipe handrail		1	LS	\$6,000	\$6,000
5 Existing Deficiency	NEA Bldg: plywood clad 1-story wood frame addition is deteriorated	#8, #9				
Recommended Remedy	Reclad in cement board/trim		1,600	SF	\$12.00	\$19,200
6 Existing Deficiency	Exterior doors: doors have deteriorated, end of service life.	#10, #11				
Recommended Remedy	Replace all exterior doors with metal jamb and FRP doors with new hardware & high security keying		28	EA	\$4,400	\$123,200
7 Existing Deficiency	Exterior windows w/ Plexiglas beyond Service life					
Recommended Remedy	Replace all windows with Alum. frame & dual pane glass		2,900	SF	\$44.00	\$127,600
8 Existing Deficiency	No Trash Enclosure at this Site					
Recommended Remedy	Install a 2-Bin Trash Enclosure per Health Dept. standards		1	LS	\$15,000	\$15,000
9 Existing Deficiency	Exterior painted finish is deteriorated					
Recommended Remedy	Reseal and repaint all exterior walls, trims fascia, etc.		35,182	SF	\$2.00	\$70,364
10 Existing Deficiency	Bldg. F Modular: wood siding/trim is deteriorated; vent screen broken; roofing deteriorated	#17, #18, #19				
Recommended Remedy	Replace wood siding with cement board panel/trim; replace metal roof, vent screens, prep and repaint		1,920	SF	\$15.00	\$28,800
11 Existing Deficiency	CDC Portable: steel framing corrosion; vents missing; ramp handrails missing	#12, #13, #14				
Recommended Remedy	Replace with cement bd. panel/trim, prep metal and repaint; Replace with concrete foundation/ ramp with correct handrails		1,536	SF	\$40.00	\$61,440

B) INTERIOR

i)	GENERAL & MAINTENANCE					
1 Existing Deficiency	Deteriorated painted wall and trim finish					
Recommended Remedy	Repaint all interior walls, trims, doors, and other painted items		35,182	SF	\$2.00	\$70,364
2 Existing Deficiency	All flooring at end of service life					
Recommended Remedy	Replace all flooring with resilient flooring, and walk-off Entry carpet mat (except Admin basement)		35,182	SF	\$5.00	\$175,910

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CATEGORY	DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF		COST / UNIT	TOTAL COST
			Quantity	Unit		
3 Existing Deficiency	MU/Admin. Basement Floor/Stairs: (E) paint is worn off and slippery	#23				
Recommended Remedy	Replace painted floor with applied epoxy flooring		4,500	SF	\$12.00	\$54,000
4 Existing Deficiency	Multi-Use Kitchen: non-complaint sink; flooring and cove base; Not large enough for food program	#20, #24				
Recommended Remedy	Repurpose for larger space allocation; replace cabinetry, sink, flooring, and wall covering per Health Code.		1,100	SF	\$125.00	\$137,500
5 Existing Deficiency	NEA Admin Bldg: ceiling water stains ; plaster ceiling removed	#15, #16				
Recommended Remedy	Replace plaster with GWB, and repaint.		600	SF	\$10.00	\$6,000
6 Existing Deficiency	Bldg A CDC Wing: Boys & Girls toilets - lightwell plaster damage; floor deterioration	#25, #26, #27				
Recommended Remedy	Replace skylight unit, repair wall damage, repaint. Replace floor paint with epoxy flooring.		600	SF	\$55.00	\$33,000
7 Existing Deficiency	NEA 2-Story Classrooms: sinks are non-compliant; 2nd Fl. Drink fountain is non-compliant for door clearance	#21, #22				
Recommended Remedy	Replace or remove classroom sinks; relocate D.F.		8	Sinks	\$3,200.00	\$25,600
3) Mechanical / Plumbing						\$949,080
A) Exterior						
i) SITE SYSTEMS						
1 Existing Systems	campus energy management system does not exist					
Recommended Remedy	add campus wide ddc control and create district standard for energy control systems		35,182	SF	\$2.00	\$70,364
2 Site plumbing	below grade waste piping has failed beyond repair, throughout entire site.					
Recommended Remedy	replace all sewer below grade, campus wide.		33690	SF	\$4	\$134,760
3 Existing Deficiency	most toilet rooms and drinking fountains have been upgraded to meet ADA requirements, although they are showing signs of wear.					
Recommended Remedy	replace all fixtures.		38	EA	\$3,400.00	\$129,200
4 Existing Deficiency - Sewage	Pump at NEA Bldg. is failing					
Recommended Remedy	Replace pump and back check assembly		1	LS	\$18,000	\$18,000

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				Quantity	Unit		
B) Interior							
i) EXISTING SYSTEMS							
1	Existing Restrooms-	MU/Admin Bldg: Basement toilets are beyond service life	#29, #30				
	Recommended Remedy	Replace all fixtures; upgrade to epoxy flooring, new tile walls, new partitions, and lights fixtures. Replace all plumbing fixtures, complete, including, urinals (0.125 gpf), water closets (1.28gpf), and lavatories (0,5gpm) to bring into current code compliance and reduce water consumption.		520	SF	\$120.00	\$62,400
2	Existing Systems	Boiler, (Raypack) and related equipment are in fair-good condition, but is inefficient. Piping uninulated and no expansion tank. Systems are combo steam/hot water..					
	Recommended Remedy	District has requested all boilers, pumps, piping and related equipment be replaced with ductless split heat pumps, one system per room.		35,182	SF	\$8.00	\$281,456
3	Existing Deficiency- NEA Bldg:Toilet Rooms. lower	vintage, with original equipment, non ada					
	Recommended Remedy	Replace all plumbing fixtures, complete, including, urinals (0.125 gpf), water closets (1.28gpf), and lavatories (0,5gpm) to bring into current code compliance and reduce water consumption.		820	SF	\$95	\$77,900
4	Existing Deficiency - NEA Bldg. Heating	Steam boiler, (Parker) is working, but old and inefficient, piping showing signs of leaking, no hartford loop, but low pressure, i.e. 5psi.					
	Recommended Remedy	Remove steam system completely, replace high efficiency roof mounted ac units and controls throughout building.		1	LS	\$175,000	\$175,000

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				Quantity	Unit		
4) Electrical							\$622,110
A)	General	N/A					
B)	Mandatory						
i)	EXTERIOR LIGHTING						
	Existing Systems	Exterior building lighting provided by wallpacks and floodlights, surface mounted lens fixtures at walkways.					
1	Existing Deficiency	Inadequate exterior lighting provided, walkways dark as noted by staff. Inadequate exterior Parking lot lighting.					
	Recommended Remedy	Add 16-ft pole fixtures for parking and play yard areas Add exterior walkway fixtures and replace existing		10	EA	\$16,000.00	\$160,000
				65	EA	\$750.00	\$48,750
2	Existing Deficiency	No exterior emergency lighting provided for emergency egress.					
	Recommended Remedy	Add exterior battery pack fixtures for minimum code coverage		40	EA	\$375.00	\$15,000
C)	Deferred Maintenance						
i)	FIRE ALARM /DETECTION						
	Existing Systems	Rack mounted Rauland control and expander panels, strobes, detectors are recent system upgrades					
1	Existing Deficiencies	Several restrooms not furnished with strobe devices Staff report this campus only has heat detectors					
	Recommended Remedy	Add strobes, and smoke detectors in upgrade		8	EA	\$450.00	\$3,600
2	Existing Deficiency	Rauland panel is not preferred manufacturer					
	Recommended Remedy	Replace fire alarm panel with district preferred manufacturer (Firelite).		1	EA	\$18,000.00	\$18,000
ii)	TELEPHONE/DATA SYSTEM						
	Existing Systems	Rack mounted Rauland telephone & data systems					
1	Existing Deficiency	Rauland telephone system is faulty and is not preferred manufacturer.					
	Recommended Remedy	Replace Rauland system with District standard VOIP.		1	EA	\$55,000.00	\$55,000
2	Existing Deficiency	In some classrooms, plastic floor thresholds used to cover data cables to tables and work stations.					
	Recommended Remedy	Add data outlets to eliminate use of thresholds		30	EA	\$350.00	\$10,500

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CATEGORY	DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF		COST / UNIT	TOTAL COST
			Quantity	Unit		
3 Existing Deficiency	Surface raceway in several locations has broken pieces, loose data cable.					
Recommended Remedy	Replace broken raceway		200	LF	\$20.00	\$4,000
4 Existing Deficiency	Add data distribution equipment, including fiber optic panels, patch panels, switches and wireless data transmitters, to accommodate new data outlets note above					
Recommended Remedy	Add data distribution equipment to activate all data outlets		3	EA	\$1,500.00	\$4,500
iii)	BELL/CLOCK/SPEAKER SYSTEM					
Existing Systems	Rauland rack mounted bell/clock/speaker system are recent upgrade					
1 Existing Deficiency	Rauland system has not been functioning properly clock/speaker not working.					
Recommended Remedy	Replace Rauland system with District standard VOIP.		35,182	SF	\$2.75	\$96,751
iv)	INTERIOR LIGHTING					
Existing Systems	Surface wraparound 2x4 fluorescent fixtures in typical classrooms, surface wraparound 1x4 fluorescent in offices & halls, surface wraparound 2x4 fluorescent in Mutli Purpose Room, suspended 2x4 fluorescents in workroom.					
1 Existing Deficiency	Fixtures aare obsolete, with T8 or T12 lamps and magnetic ballasts					
Recommended Remedy	Replace with energy efficient T5 lamps and electronic ballast Fixtures		35,182	SF	\$1.55	\$54,532
2 Existing Deficiency	No lighting controls on campus					
Recommended Remedy	Add Occupancy sensor light switching		35,182	SF	\$0.35	\$12,314
3 Existing Deficiency	Some occupancy sensors observed, local room switches are typical classroom and office lighting controls					
Recommended Remedy	Replace toggle switches with ultrasonic/infrared room occupancy sensors		35,182	SF	\$0.35	\$12,314
4 Existing Deficiency	Fixtures observed with broken or missing lenses.					
Recommended Remedy	Replace Fixtures (included above)			EA	\$25.00	\$0

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				Quantity	Unit		
vi)	EXIT SIGNS						
	Existing Systems	Exit signs and dual head battery packs observed.					
1	Existing Deficiency	Fixtures observed with broken or missing lenses. Several exit signs are outdated and not furnished with battery backup, paper exit signs observed.					
	Recommended Remedy	Add & replace exit signs		35	EA	\$375.00	\$13,125
2	Existing Deficiency	Inadequate number of emergency egress fixtures were observed.					
	Recommended Remedy	Add dual head battery packs at egress paths		30	EA	\$375.00	\$11,250
vii)	POWER						
1	Existing Deficiency	Main Panel/Switchboards: (E) equipment is obsolete.					
	Recommended Remedy	Replace both Main panels, switch gear and sub-panels. Allow 20% for feeder replacement Replace existing 400amp, 120/208volt main switchboard with new 600amp, 120/208volt utility service and main switchboard.		1	EA	\$16,000.00	\$16,000
		Replace existing panelboards with new panelboards (42 pole, 100amp, 120/208volt, 3phase, with Transient Voltage Surge Suppression) and new feeders from switchboard		4	EA	\$4,700.00	\$18,800
2	Existing Deficiency	In some areas, ie, media center, classrooms, offices, plastic floor thresholds used to cover power cables to tables and work stations.					
	Recommended Remedy	Add power outlets to eliminate use of thresholds		25	EA	\$475.00	\$11,875
3	Existing Deficiency	In some areas, ie, media center, classrooms, offices, plastic surface raceway is broken and hanging loose from walls, with data and power cables exposed.					
	Recommended Remedy	Replace broken raceways		200	LF	\$15.00	\$3,000
4	Existing Deficiency	In typical classrooms, inadequate quantity of receptacles.					
	Recommended Remedy	Provide additional receptacles		50	EA	\$475.00	\$23,750

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			Quantity	Unit		
5 Existing Deficiency	In typical kindegarten classrooms, tamperproof receptacles have not been provided.					
Recommended Remedy	Replace with tamperproof receptacles		50	EA	\$575.00	\$28,750
6 Existing Deficiency	In some areas, devices are missing coverplates with data or power cables exposed					
Recommended Remedy	Replace coverplates		20	EA	\$15.00	\$300
7 Existing Deficiency	Inadequate power distribution for receptacles for data system as noted above					
Recommended Remedy	For added receptacles noted above, install new panelboard (42pole, 100amp, 120/208volt, 3phase, with Transient Voltage Surge Suppression) and new feeder from switchboard		1	EA	\$12,700.00	\$12,700
5) Structural						\$158,400
1 Existing Deficiency	Exterior surface cracking observed in several locations at multi-story bldg. If this structure to be renovated,further investigation soil and structure to limit future cracking.					
Recommended Remedy	* Additional analysis required. Allowance is for analysis and crack repair only	ALLOW	14,400	SF	\$11.00	\$158,400
Sub-Total						\$3,911,424
* NEEDS FURTHER INQUIRY FOR ACCURATE ESTIMATE						
SOFT COSTS @ 25%						\$977,856
TOTAL COSTS (not including escalation)						\$4,889,280

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LONGFELLOW/WOODSTOCK CDC

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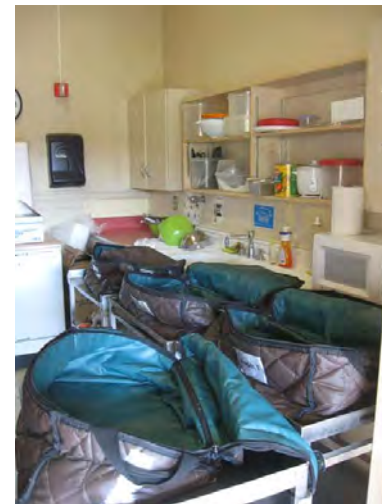
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