

Amelia Earhart Elementary School

SUMMARY OF SCHOOL CAMPUS

- **Address:** 400 Packet Landing, Alameda, CA 94502
- **Principal - Phone No. :** Joy Dean - (510) 748 4003
- **Year Built:** 1979
- **Total Site Area:** 8.0 acres
- **Building Area:** 36,270 sf
- **10 Portables:** 10,015 sf

FACILITY DESCRIPTION

Earhart Elementary School is constructed on concrete pad foundations with 1-story wood framed, cement plastered, walls, and composite shingle roofing. The original campus includes a Multi-Use/ Cafeteria, Administration building, and (3) Classroom Clusters with (6) classrooms, and a central resource center. In 1988, Classroom Cluster “F” was added along with an addition to Cluster “E”, and a campus wide lighting upgrade.

This site currently serves 582 (K-5) students with 32 classrooms, including 10 relocatable buildings added since 1992, which serve as classrooms and daycare. A large asphalt playground extends into area between Multi-Use and the classrooms, which serves as the campus focal point. Measure “C” funds (2005) provided modernization improvements including, restroom barrier removal, utility upgrades, and repainting.

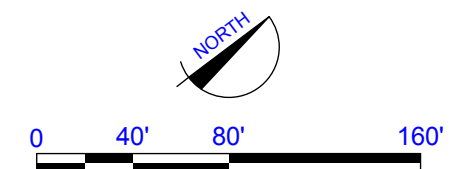
STRUCTURAL OBSERVATIONS

Upon reviewing the original structural drawings dated in 1978, the wood framed buildings appear to generally conform to modern standards of practice. A structural review of the original framing and foundation plans reveals that no hold downs were originally specified for use at the wood framed shear walls. However structural modernization drawings dated 2005 show a voluntary seismic upgrade including the addition of hold downs and collector straps. It is suggested to confirm this seismic upgrade was performed. Based on this upgrade, we believe that any added structural strengthening should be a low priority.

Further investigation of the roof framing system should be performed to determine if the sloped roof insulation is properly vented, to prevent condensation forming at the dew point of the composite assembly during the winter heating cycle. If not vented, the condensation build up over time may have caused dry rot infestation in the structural framing members.

KEY ASSESSMENT ITEMS

- Composite shingle roofing at end of service life
- Investigate roof framing for vented insulation space and potential dry rot
- Deteriorated playground asphalt and accessible cross slope issues
- Classroom 15 & 16 not directly accessible from playground
- Day-lighting skylights shuttered and non-functional
- Inadequate parking lot lighting level
- No emergency egress lighting at covered walkways
- Some areas don't have required F.A. strobes
- Telephone system requires frequent re-programming and no voice mail function
- Classroom furnace units near end of service life
- Interior floor and wall finishes at end of service life



Earhart Elementary School
Facility Assessment Spreadsheet

| CATEGORY | | DESCRIPTION | PHOTO & SITE PLAN | ESTIMATED TAKE OFF Quantity Unit | | COST / UNIT | TOTAL COST |
|-----------------------------|---------------------|---|----------------------|--|----|-------------|-------------|
| 1) Civil | | | | | | | \$1,047,222 |
| A) Existing Site Conditions | | | | | | | |
| i) ACCESS | | | | | | | |
| 1 | Existing Deficiency | The pavement designations for the ADA student drop off zone is non-compliant, and suggestive of parking stalls | 1C | | | | |
| | Recommended Remedy | Paint out all three ADA stall designations on the pavement. Replace ADA loading zone sign with compliant sign. | | 3 | EA | \$600.00 | \$1,800 |
| 2 | Existing Deficiency | Pavement cross slope in ADA student drop off is 2.7% | 2C | | | | |
| | Recommended Remedy | Edge grind at perimeter of stall; overlay pavement to reduce cross slope, taper 5 ft into drive aisle. Restripe to ADA standards. | | 308 | SF | \$9.00 | \$2,772 |
| 3 | Existing Deficiency | Pavement cross slope in accessible stall area is 2.5%. Missing and out of date signage. | 3C | | | | |
| | Recommended Remedy | Edge gring at perimeter of stall; overlay pavement to reduce cross slope; taper 5ft into drive aisle. Restripe per ADA standards. Add signage to right stall; add minimum fine sign to left stall. | | 450 | SF | \$9.00 | \$4,050 |
| 4 | Existing Deficiency | Pavement cross slope in stall and unloading zone exceeds 3%. Signage is out of date. Lacks truncated domes at crossing. | 4C | | | | |
| | Recommended Remedy | Edge grind at perimter of stall; overlay pavement to reduce cross slope, taper 5 ft into adjoining stalls on three sides. Update signage to current standards. Restripe to current standards. Add band of truncated domes on both sides of circulation aisle. | | 450 | SF | \$15.00 | \$6,750 |
| 5 | Existing Deficiency | Cross slope on walk leading to Admin building entrance is 3.3%. There is a tripping hazard along the north side where the concrete adjoins asphalt. | 5C | | | | |
| | Recommended Remedy | Remove concrete and asphalt, and reinstall as all concrete with 2% max cross slope towards fenced area. | | 1,800 | SF | \$15.00 | \$27,000 |

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|----------|---------------------|--|----------------------|--------------------|------|-------------|------------|
| | | | | Quantity | Unit | | |
| 6 | Existing Deficiency | The transition slab from the door landing to the adjoining walk has a slope of 7%. | 6C | | | | |
| | Recommended Remedy | Remove steep section of walk and adjoining flatter section. Regrade and repour walk for 5% max slope. Alternatively, add railing to one side of ramp. | | 320 | SF | \$20.00 | \$6,400 |
| 7 | Existing Deficiency | Walk on path from public way/ADA drop off has cross slope of 2.6%. | 7C | | | | |
| | Recommended Remedy | Remove walk, flatten cross slope starting at back of curb, and repour walk at 2% max cross slope. | | 640 | SF | \$20.00 | \$12,800 |
| 8 | Existing Deficiency | Cross slope of existing paved play court varies from 2.2% to 3.8% | 8C | | | | |
| | Recommended Remedy | This would require a significant reconstruction of the pavement and drainage infrastructure to correct. An alternative could be removal of existing pavement, add a linear planter with seat wall(s) as a way of taking up grade, and repave at 2% max slope. This will reduce the available play area and flexibility of the space. | | 1,200 | SF | \$9.00 | \$10,800 |
| 9 | Existing Deficiency | The rim of the sewer lift station projects approximately 3/4" above pavement grade and is a tripping hazard. | 9C | | | | |
| | Recommended Remedy | Saw cut and remove ring of pavement around lid, and repave for smooth pavement transition to flush with lid. | | 100 | SF | \$7.00 | \$700 |
| 10 | Existing Deficiency | Pavement surface in parking area is deteriorated. | 10C | | | | |
| | Recommended Remedy | Grind, regrade and repave entire parking area. | | 20,000 | SF | \$6.00 | \$120,000 |
| 11 | Existing Deficiency | 2.9% Cross slope on paved play court, and deteriorated pavement | 11C | | | | |
| | Recommended Remedy | Edge grind adjoining building; install pavement fabric and 1.5" pavement overlay to flatten cross slope. Restripe courts. | | 8,400 | SF | \$6.00 | \$50,400 |
| 12 | Existing Deficiency | 3.6% pavement cross slope in direction of travel. | 12C | | | | |
| | Recommended Remedy | Edge grind adjoining building; install pavement fabric and variable depth pavement overlay to flatten cross slope. | | 5,300 | SF | \$6.00 | \$31,800 |

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|-------------------------------------|---------------------|---|----------------------|--------------------|------|-------------|------------|
| | | | | Quantity | Unit | | |
| 13 | Existing Deficiency | 4% pavement cross slope across entire playcourt. | 13C | | | | |
| | Recommended Remedy | Edge grind adjoining building; install pavement fabric and variable depth pavement overlay to flatten cross slope. | | 32,000 | SF | \$6.00 | \$192,000 |
| 14 | Existing Deficiency | Classrooms 15 & 16 (Cluster B) have no direct accessible path of travel to Playground | 16C | | | | |
| | Recommended Remedy | Add accessible ramp | | 240 | SF | \$22.00 | \$5,280 |
| ii) FIRE/LIFE SAFETY/HAZ MAT | | | | | | | |
| 1 | Existing Deficiency | No fire truck access to this portion of the campus | 14C | | | | |
| | Recommended Remedy | Consider adding fire access gate in fence at northeast corner of school site, or at least a man gate at this location to improve fire fighter access. | | 192 | SF | \$30.00 | \$5,760 |
| 2 | Existing Deficiency | Poor fire hydrant coverage of site. Only hydrants are at parking lot exit and nearby intersection. | 15C | | | | |
| | Recommended Remedy | Consider addition of private fire service to campus, with hydrant between PC3 and PC8. | | 1 | EA | \$75,000 | \$75,000 |
| 3 | Existing Deficiency | The interconnected nature of the buildings will likely result in a large fire area, and correspondingly high required fire flows, which the surrounding hydrants may not be able to meet. | | | | | |
| | Recommended Remedy | Consider adding fire sprinklers to existing buildings to reduce required fire flow. | | 36,270 | SF | \$13.00 | \$471,510 |
| iii) UTILITIES | | | | | | | |
| 1 | Existing Deficiency | Many of the existing onsite inlets in pedestrian traffic areas do not have ADA compliant grates. | | | | | |
| | Recommended Remedy | Replace grates with 1/2" max. opening grates. Approximately 8 locations. | | 8 | EA | \$300.00 | \$2,400 |
| 2 | Existing Deficiency | Existing Irrigation system has many shorts and manual zones | | | | | |
| | Recommended Remedy | Replace (E) system w/ remote monitoring Controller system | | 1 | LS | \$20,000 | \$20,000 |

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|---------------------------------|---------------------|---|----------------------|--------------------|------|-------------|--------------------|
| | | | | Quantity | Unit | | |
| 2) Architectural | | | | | | | \$2,032,291 |
| A) EXTERIOR | | | | | | | |
| i) ACCESS | | | | | | | |
| 1 | Existing Condition: | Campus lot: hills and mounds of dirt left over from construction | | | | | |
| | Recommended Remedy | Remove 500 yds of dirt, regrade, and replant grass | | 500 | CY | \$35.00 | \$17,500 |
| 2 | Existing Deficiency | Students walk in grassy area north of Pods A, B & F. | #26 | | | | |
| | Recommended Remedy | Add concrete walkway in grass area, connecting plazas on north side of Pods. | | 400 | SF | \$17.00 | \$6,800 |
| 3 | Existing Deficiency | Classroom Pod A: Drinking Fountain on north side of classroom 3 is non-accessible | #1 | | | | |
| | Recommended Remedy | Replace w/ single Accessible D.F. | | 1 | EA | \$3,000 | \$3,000 |
| 4 | Existing Deficiency | Classroom Pod C: Playground is not accessible from plaza at Room 16 | #2 | | | | |
| | Recommended Remedy | Add accessible ramp for direct access | | 120 | SF | \$30.00 | \$3,600 |
| 5 | Existing Deficiency | Playground Surface: asphalt is cracking with many trip hazards. Also see Civil item #8 | #3, #4 | | | | |
| | Recommended Remedy | Grind (E) asphalt, regrade, and repave entire play yard | | 10,200 | SF | \$6.00 | \$61,200 |
| 6 | Existing Deficiency | Daycare Modular: Drink fountain is non-compliant | #7 | | | | |
| | Recommended Remedy | Replace with compliant model | | 1 | Pair | \$5,000.00 | \$5,000 |
| ii) DEFERRED MAINTENANCE | | | | | | | |
| 1 | Existing Deficiency | Classroom Pods & Admin: Asphalt shingle roofing is 33 yrs old. Bldg. F roofing is 24-yrs old and has only 6 more years of service life | 1B | | | | |
| | Recommended Remedy | Upgrade to 50-yr SS metal roofing, and BUR on covered walkways. | | 36,270 | SF | \$12.00 | \$435,240 |
| 2 | Existing Deficiency | Exterior doors have reached end of service life | | | | | |
| | Recommended Remedy | Replace all ext. doors with metal frame and FRP door | | 54 | EA | \$4,400.00 | \$237,600 |
| 3 | Existing Deficiency | Exterior windows w/ Plexiglas beyond Service life | | | | | |
| | Recommended Remedy | Replace all windows with Alum. frame & dual pane glass | | 5,500 | SF | \$44.00 | \$242,000 |

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|-----------------------|--|-------------------------|--------------------|------|-------------|------------|
| | | | Quantity | Unit | | |
| 4 Existing Deficiency | No Trash Enclosure at this Site | | | | | |
| Recommended Remedy | Install a 2-Bin Trash Enclosure per Health Dept. standards | | 1 | LS | 15,000 | \$15,000 |
| 5 Existing Deficiency | Classrooms: Acoustic ceiling tile water stained/delaminating | #8 | | | | |
| Recommended Remedy | See item # B-7 below. replace ceiling tiles. | | 32,900 | SF | \$5.00 | \$164,500 |
| 6 Existing Deficiency | Stucco & Wood Trim: paint is at end of service life | | | | | |
| Recommended Remedy | Repaint entire campus | | 45,400 | SF | \$2.00 | \$90,800 |
| 7 Existing Deficiency | Corridor Columns: Damaged cement plaster corners | #9 | | | | |
| Recommended Remedy | Repair stucco where damage not likely to occur again; otherwise, add corner guards. | Allow | 1,152 | SF | \$14.00 | \$16,128 |
| 8 Existing Deficiency | Daycare Modular: wood siding and paint is deteriorated. | #6, #11 | | | | |
| Recommended Remedy | Replace wood siding with cement board paneling/ trim and repaint | | 2,688 | SF | \$6.00 | \$16,128 |
| 6 Existing Deficiency | Music Room Portables: Roof downspouts discharge on wood foundation, cause dry rot. | #10, #12, #13, #14, #17 | | | | |
| Recommended Remedy | Add site drainage inlets for direct discharge, and replace with concrete foundation/ramps | | 45 | CY | \$850.00 | \$38,250 |
| 7 Existing Deficiency | Bike Yard Fence: wood fence burned by vandals | #15 | | | | |
| Recommended Remedy | Remove burned fence and replace with new chainlink bike cage | | 160 | LF | \$60.00 | \$9,600 |
| 8 Existing Deficiency | 6 Room Portable Pod: roof downspouts saturate wood foundation, causing dry rot | #16, #18, #21, #22 | | | | |
| Recommended Remedy | Add site drainage inlet for downspouts; design a metal flashing detail for concrete to wood connection | Allow | 1 | LS | \$8,000.00 | \$8,000 |
| 9 Existing Deficiency | Multi-Use Bldg: exterior drink fountain is non accessible compliant | #19, #23 | | | | |
| Recommended Remedy | Reset at correct height and place padded boot on drain line, or replace | | 1 | EA | \$5,000.00 | \$5,000 |

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|--------------------------|---------------------|--|-------------------------------------|--------------------|------|-------------|------------|
| | | | | Quantity | Unit | | |
| B) INTERIOR | | | | | | | |
| i) GENERAL & MAINTENANCE | | | | | | | |
| 1 | Existing Deficiency | Shuttered skylights: Classroom & Multi-Use shutters not used, due to problematic cable operator | #5, #24 | | | | |
| | Recommended Remedy | Install "solatube" daylighting, and convert (E) skylights to 'passive' ventilators | | 20 | EA | \$3,200.00 | \$64,000 |
| 2 | Existing Deficiency | Multi-Use Bldg: moveable panels at ridge beam, bind when moved. | #24 | | | | |
| | Recommended Remedy | Replace heavy panels with manual lightweight panels | | 75 | LF | \$75.00 | \$5,625 |
| 3 | Existing Deficiency | Campus flooring has reached end of service life | | | | | |
| | Recommended Remedy | Replace all flooring with resilient flooring, and walk-off Entry carpet mat. | | 54,400 | SF | \$5.00 | \$272,000 |
| 4 | Existing Deficiency | Interior painting and wall covering at end of service life | | | | | |
| | Recommended Remedy | Repaint all interiors | | 54,400 | SF | \$1.55 | \$84,320 |
| 5 | Existing Deficiency | Multi-Use Toilets: sinks are non accessible compliant | #25 | | | | |
| | Recommended Remedy | Add padded drain line cover | | 6 | EA | \$1,000.00 | \$6,000 |
| 6 | Existing Deficiency | Classroom pods: Staff toilets require sanitary cove base per Health Code | #5 | | | | |
| | Recommended Remedy | Remove probable VAT flooring at toilets and Commons space. Replace with ceramic tile at toilets, and resilient or carpet elsewhere. | | 6,500 | SF | \$5.00 | \$32,500 |
| 7 | Existing Deficiency | Admin. & Pod Bldgs: precipitation collects at high point of ceiling | #5, #20, #27 | | | | |
| | Recommended Remedy | * Investigate insulation of joist space. If unvented, dew point may occur in winter, resulting in condensation and probable framing dry rot. | Allowance for venting & 20% dry rot | 34,900 | SF | \$5.00 | \$174,500 |
| 8 | Existing Deficiency | Cafeteria Kitchen: service sink is non accessible and wall/floor finish is not Health Code compliant | #28 | | | | |
| | Recommended Remedy | Refinish wall w/ FRP and floor/cove with applied Epoxy. Replace sink | | 1 | LS | \$18,000.00 | \$18,000 |

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|--------------------------|-------------------------------------|--|----------------------|--|----|-------------|------------|
| 3) Mechanical / Plumbing | | | | | | | \$179,273 |
| A) Exterior | | | | | | | |
| i) SITE SYSTEMS | | | | | | | |
| 1 | Existing Systems | campus energy management system does not exist | | | | | |
| | Recommended Remedy | add campus wide ddc control and create district standard for energy control systems | | 36,270 | SF | \$2.25 | \$81,608 |
| B) Interior | | | | | | | |
| i) ACCESS | | | | | | | |
| 1 | Existing Deficiency | plumbing fixtures are ADA compliant throughout, although the P-trap protective coverings are missing | | | | | |
| | Recommended Remedy | Replace p-trap protective covers | | 1 | LS | \$4,000.00 | \$4,000 |
| ii) EXISTING SYSTEMS | | | | | | | |
| 1 | Existing Systems | mechanical/plumbing systems in good condition and working order. Plumbing fixtures are ADA compliant with waterless urinals, sensor faucets. | | | | | |
| | Recommended Remedy | Replace waterless urinals with ultra low flow 0.125 gpf; replace a/c filters and clean existing duct system. | | 1 | LS | \$2,500.00 | \$2,500 |
| 2 | Existing Deficiency Pods-A, B, C | mech/plumb in good condition and ADA compliant with, sensor flush toilets, newer classroom sinks w/ bubblers, standard efficiency gas fired furnaces, Trane XR-80 w/ 7 day programmable t-stats | | | | | |
| | Recommended Remedy | ADD DX cooling coils and condensing units, on grade for cooling. , i.e. clean duct systems, replace filters | | 34,900 | SF | \$1.25 | \$43,625 |
| 3 | Existing Deficiency-Pod F | plumbing systems are in good condition and are ADA compliant. Furnaces are older, RUUD units and are nearing the end of useful life | | | | | |
| | Recommended Remedy | replace furnaces with high efficiency type, clean duct systems; At Media Center, replace and Add DX cooling and condensing units for | | 9,680 | SF | \$3.00 | \$29,040 |
| 4 | Existing Deficiency-Multipurpose | mech/plmb systems in good condition and are ADA compliant with, sensor flush toilets, newer classroom sinks w/ bubblers, standard efficiency gas fired furnaces, Trane XR-80 w/ 7 day programmable t-stats | | | | | |
| | Recommended Remedy | replace furnaces with high efficiency type with DX cooling coils and condensing units on grade, clean duct systems | | 7,400 | SF | \$2.50 | \$18,500 |

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|--------------------------|---|----------------------|--------------------|----|-------------|------------|
| Quantity | Unit | | | | | |
| 4) Electrical | | | | | | \$346,100 |
| A) General | | | | | | |
| i) EXISTING SYSTEMS | | | | | | |
| Existing Systems | School Modernization in 2005 included upgrades tp electrical services, tele communication, clock, security, and fire alarm systems. Light systems were upgraded in 1991. No cable TV service. | | | | | |
| B) Mandatory | | | | | | |
| i) EXTERIOR LIGHTING | | | | | | |
| 1 Existing Deficiency | Parking lot lighting provided by (2) pole mounted shoebox luminaires. As noted by staff, light levels are low for back to school nights. | 1E | | | | |
| Recommended Remedy | Add (2) pole mounted luminaires to match existing at Parking; Add (3) from Parking to Day Care Bldg. Add low level bollard type fixtures. | | 5 | EA | \$16,000.00 | \$80,000 |
| | | | 10 | EA | \$4,500.00 | \$45,000 |
| 2 Existing Deficiency | Inadequate exterior lighting provided, walkways dark for back to school nights, as noted by staff | | | | | |
| Recommended Remedy | Add (25) and replace (E) exterior walkway fixtures, with LED fixtures | | 45 | EA | \$550.00 | \$24,750 |
| 3 Existing Deficiency | Exterior building lighting provided by wallpaks and surface square downlights at covered walk ways. No exterior emergency lighting provided for emergency egress. | 2E | | | | |
| Recommended Remedy | Replace exterior wallpack fixtures and down lights at covered walkways. Add exterior battery pack fixtures for minimum code coverage | | 20 | EA | \$650.00 | \$13,000 |
| | | | 30 | EA | \$375.00 | \$11,250 |
| C) Deferred Maintenance | | | | | | |
| i) FIRE ALARM /DETECTION | | | | | | |
| 1 Existing Deficiency | Notifier NFS640 control and expander panels, Some areas, ie, kindergarten toilets, do not have required strobes | | | | | |
| Recommended Remedy | Add fire alarm strobe devices | | 4 | EA | \$475.00 | \$1,900 |
| ii) TELEPHONE SYSTEM | | | | | | |
| Existing System | Rauland telephone system is recent upgrade. | | | | | |
| 1 Existing Deficiency | Panel problems require frequent reprogramming. No voicemail available with telephone system. | | | | | |
| Recommended Remedy | Replace Rauland system with district standard VOIP. | | 1 | LS | \$75,000.00 | \$75,000 |

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|---------------------------------------|---------------------|--|----------------------|--------------------|------|-------------|------------|
| | | | | Quantity | Unit | | |
| 2 | Existing Deficiency | In some areas, ie, media center, classrooms, offices, plastic floor thresholds used to cover data cables to tables and work stations | | | | | |
| | Recommended Remedy | Add data outlets to eliminate use of thresholds | | 30 | EA | \$450.00 | \$13,500 |
| 3 | Existing Deficiency | Surface raceway in media center has broken pieces and missing plates | | | | | |
| | Recommended Remedy | Add plates and replace broken items | | 8 | EA | \$25.00 | \$200 |
| 4 | Existing Deficiency | Add data distribution equipment, including fiber optic panels, patch panels, switches and wireless data transmitters, to accommodate new data outlets note above | | | | | |
| | Recommended Remedy | Add data distribution equipment to activate all data outlets | | 54,500 | EA | \$1.00 | \$54,500 |
| iii) BELL/CLOCK/SPEAKER SYSTEM | | | | | | | |
| | Existing System | Rauland bell/clock/speaker system is recent upgrade | | | | | |
| 1 | Existing Deficiency | Panel problems require frequent reprogramming. All call function not working properly. Exterior speakers not working or unclear transmission. | | 10 | EA | \$700.00 | \$7,000 |
| | Recommended Remedy | Replace Rauland system with district standard VOIP. | | 1 | LS | \$20,000.00 | \$20,000 |
| iv) SECURITY SYSTEM | | | | | | | |
| 1 | Existing System | Security system is recent upgrade | | | | | |
| 1 | | No deficiencies observed or reported. | | | | | |
| v) INTERIOR LIGHTING | | | | | | | |
| 1 | Existing Deficiency | Existing fluorescent fixtures appear to have T8 lamps and magnetic ballasts | | | | | |
| | Recommended Remedy | Replace with energy efficient T5 lamps and electronic ballasts fixtures throughout | | 36,200 | SF | \$1.75 | \$63,350 |
| 2 | Existing Deficiency | Fixtures observed with broken or missing lenses. | | | | | |
| | Recommended Remedy | See item above | | | | | |
| 3 | Existing Deficiency | Some occupancy sensors observed, local room switches are typical classroom and office lighting controls | | | | | |
| | Recommended Remedy | Replace toggle switches with ultrasonic/infrared room occupancy sensors | | 54,500 | SF | \$0.35 | \$19,075 |

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|---|---------------------|---|-------------------|--------------------|------|-------------|-------------|
| | | | | Quantity | Unit | | |
| vi) EXIT SIGNS | | | | | | | |
| 1 | Existing Deficiency | Exit signs observed with broken lenses Exit signs not clearly provided or located | | | | | |
| | Recommended Remedy | Replace broken lenses | | 3 | EA | \$75.00 | \$225 |
| | | Install additional exit signs | | 6 | EA | \$475.00 | \$2,850 |
| vii) POWER | | | | | | | |
| 1 | Existing Deficiency | In some areas, ie, media center, classrooms, offices, plastic floor thresholds used to cover power cables to tables and work stations. | | | | | |
| | Recommended Remedy | Add power outlets to eliminate use of thresholds | | 30 | EA | \$450.00 | \$13,500 |
| 2 | Existing Deficiency | In some areas, ie, media center, classrooms, offices, plastic surface raceway is broken and hanging loose from walls, with data and power cables exposed | | | | | |
| | Recommended Remedy | Replace broken raceways | | 100 | LF | \$20.00 | \$2,000 |
| 3 | Existing Deficiency | In kindergarten classrooms, tamper proof receptacles have not been provided | | | | | |
| | Recommended Remedy | Replace with tamperproof receptacles. | | 30 | EA | \$475.00 | \$14,250 |
| 4 | Existing Deficiency | Inadequate power distribution for receptacles for data system as noted above | | | | | |
| | Recommended Remedy | For added receptacles noted above, install new panelboard (42pole, 100amp, 120/208volt, 3phase, with Transient Voltage Surge Suppression) and new feeder from switchboard | | 2 | EA | \$4,500.00 | \$9,000 |
| Structural | | | | | | | \$30,000 |
| 1 | Existing Deficiency | Visible signs of moisture at admin (See Arch Item # B-7 above) | | | | | |
| | Recommended Remedy | Repair/ reframe Dry Rot roof or wall framing | ALLOW | 1 | LS | \$30,000.00 | \$30,000 |
| Sub-Total | | | | | | | \$3,634,886 |
| * NEEDS FURTHER INQUIRY FOR ACCURATE ESTIMATE | | | | | | | |
| SOFT COSTS @ 25% | | | | | | | \$908,721 |
| TOTAL COSTS (not including escalation) | | | | | | | \$4,543,607 |

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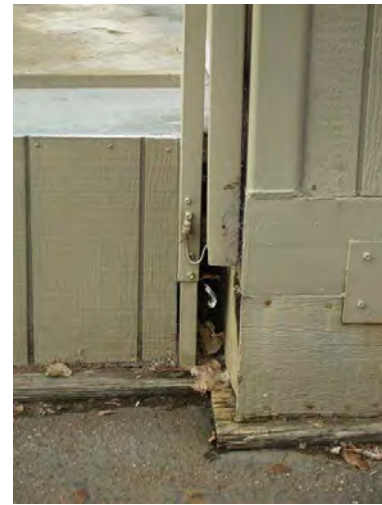
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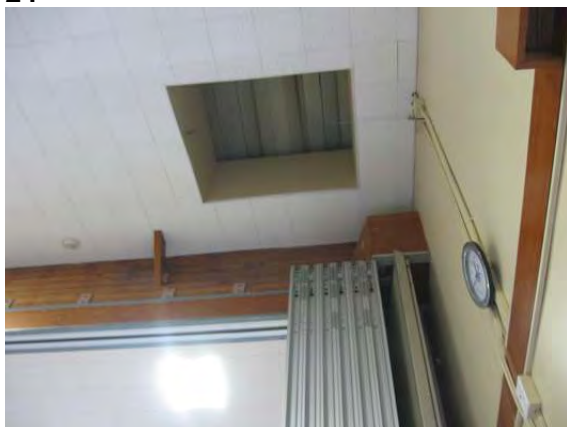
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