

Will C. Wood Middle School

SUMMARY OF SCHOOL CAMPUS

- **Address:** 420 Grand St, Alameda, CA 94501
- **Principal - Phone No. :** Jeff Knoth - (510) 748 4015
- **Year Built:** 1965
- **Total Site Area:** 9.60 acres
- **Building Area:** 50,430 sf
- **Modulars:** 13,440 sf (3) Classroom Wings (1965)

FACILITY DESCRIPTION

Wood Middle School was constructed in 1965 on bay fill sediments placed by the land developer of this tract in 1962-63. The 3-story classroom building sits on a concrete pad foundation, with cast in place concrete wall and floor framing, with a flat membrane roof. It was seismically retro-fitted with exterior steel moment frames in 2000. The Multi-Purpose/ Gym/ Cafeteria is similarly constructed but did not receive a seismic upgrade. Other 2000 improvements included HVAC and Fire Alarm repairs, an Elevator tower, and accessible barrier removal, restroom upgrades. Measure "C" funds (2008) provided additional accessible barrier removal in the playground and other site path of travel routes, fire-alarm replacement, 3-story building roof replacement, Administration offices re-configuration, and repainting throughout.

This campus serves 560 (6th-8th) students in 28 classrooms, Multi-Purpose, Media Center, 1 Computer Lab, and an Art Studio, converted from the former vocational classroom. Of special interest is the Food Service area (approx. 2,600 sf) in the Multi-Purpose building. This facility prepares hot and cold school lunches for all the District's schools, except Encinal HS and Woodstock Education Center, which is a remarkable testament to the efficiency of the Food Service operations, given its small size.

ISSUE OF CONCERN

The (3) 6th Grade Classroom Wings at Wood M.S. are an issue of concern, given that the previous modernizations only added some accessible ramps, and exterior painting. These modular buildings are now 47-years old, and have reached the end of their designed service life, with extensive framing dry rot, exterior framing and flashing rust, and shabby interior, floor and wall finishes. We recommend total removal of these facilities and replacement with new modular or site constructed buildings.

KEY ASSESSMENT ITEMS

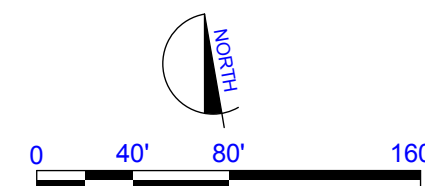
- Modular Classroom Wing replacement
- Fire area coverage is minimum requiring addition of fire sprinklers and on-site hydrants
- Excessive asphalt deterioration
- Roofing membrane (except 3-story bldg.) at end of service life
- Exterior windows, doors, and exterior finishes at end of service life
- District Kitchen is too small for required food production
- Corridor lockers are at end of service life
- Interior flooring, walls and ceilings at end of service life
- Gym flooring is deteriorated and delaminating from excessive moisture
- Computer Lab in former classroom, without adequate data backbone, and cooling.
- Telecom, Data, Speaker and Fire Alarm wiring run exposed in classroom corridors
- Mechanical and plumbing fixtures at end of service life.
- No energy management system
- Lighting is inefficient and at end of service life



- CLASSROOM BUILDING
- ADMINISTRATION
- MULTI-PURPOSE / CAFETERIA BUILDING
- MODULAR BUILDING
- PORTABLE BUILDING
- COVERED WALKWAYS
- #C SEE ASSESSMENT SPREADSHEET FOR CIVIL KEYNOTES, TYP.

WOOD MS
4/30/2012

Alameda USD Facilities Assessment



Wood Middle School
Facility Assessment Spreadsheet

CATEGORY		DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF		COST / UNIT	TOTAL COST
				Quantity	Unit		
1) Civil							\$835,860
A) Existing Site Conditions							
i) ACCESS							
1	Existing Deficiency	The parallel accessible stall does not have an unloading zone at the same level of the vehicle on the passenger side. See Caltrans detail provided separately. An accessible stall is required in this location due to it's proximity to the main school entrance, and based upon the total number of parking stalls at the site.	1C				
	Recommended Remedy	Rebuild the curb and sidewalk adjoining the accessible stall per the Caltrans standard. See also item 2.		200	SF	\$30	\$6,000
2	Existing Deficiency	The first 5 ft of sidewalk at the curb has a cross slope of 2.3%, and the next 10+ ft has a cross slope of 5.6%. Both exceed allowable ADA tolerances.	2C				
	Recommended Remedy	The least cost repair for this condition would be to remove the curb and first five feet of sidewalk along the drop off zone. Rebuild the sidewalk starting at the school side to match the existing walk, with a cross slope of 2% max towards the drop off lane. Construct a new curb slightly higher than 6" to make the transition from the new walk to the existing grade in the drop off lane. Double the length of the depressed curb area to create an ADA student loading zone just north of the ADA parallel stall. At the ADA unloading zone, include a pedestrian ramp down at one end, level with the pavement along the length of the zone and the adjoining ADA stall, then back up at the other end.		200	SF	\$30	\$6,000
3	Existing Deficiency	These ADA stalls have faded stripes, one is missing any signage, and the other has out of date signage.	3C				
	Recommended Remedy	Add proper signage at both stalls; restripe per current standards.		3	EA	\$1,500	\$4,500
4	Existing Deficiency	ADA parking lot entrance signage missing.	4C				
	Recommended Remedy	Add compliant signs at both parking lot entrances		2	EA	\$500	\$1,000

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CATEGORY	DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF		COST / UNIT	TOTAL COST
			Quantity	Unit		
5 Existing Deficiency	At the intersection of the diagonal walk and the north/south main walkway, there is an older pedestrian ramp that appears to have been associated at one time with an ADA parallel parking stall. Based upon the overall parking count, this stall is not needed. The presence of the ramp creates excessive cross slope on the path of travel from the street, and there is no level landing at the top of the ramp.	1C				
	Recommended Remedy We suggest that the old ramp be removed, and that it be replaced with standard curb and sidewalk with a 2% max cross slope. Remove any pavement markings and signs associated with the former ADA stall.		200	SF	\$30	\$6,000
6 Existing Deficiency	There is no level landing at the top of the pedestrian ramp at the front of the school. This is signed as the accessible path to the school entrance. It also appears that the slope on the ramp exceeds 8.33%.	6C				
	Recommended Remedy Remove all existing concrete flatwork in the area bounded by the curb, the MP building, the entrance covered walkway, and room C2. Coordinate this work with items 1, 2, and 5 above. Perform minor regrading, and construct new pedestrian ramp at 8.33% max, with a 4 ft level landing at the top, then replace flatwork up to the covered walkway at 5% max slope.		900	SF	\$30	\$27,000
7 Existing Deficiency	At these locations, there are only stairs up to the building entrances. In addition, the dimensions of the landings at the doors do not meet standards, and the threshold heights are approximately 3/4" to 1".	7C				
	Recommended Remedy Remove stairs and landings at all locations. At PC 6 and 7, install individual ramps and landings. At the remaining locations where doors are more closely spaced, consider a continuous landing up at floor level, with a ramp at one end, possibly combined with stairs at each door should that be desired for more direct access.		2,000	SF	\$22	\$44,000

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				Quantity	Unit		
8	Existing Deficiency	The slope on this ramp is approximately 10.6%, exceeding 1:12 max allowable. In addition, the upper landing at the door is too narrow, and meets the threshold at 3/4" below finished floor.	8C				
	Recommended Remedy	Remove the existing ramp and landing and replace with a ramp and landing with appropriate dimensions and slope.		400	SF	\$18	\$7,200
9	Existing Deficiency	The cross slope on the walk in this area exceeds 2%, and there is no level landing at the double entry doors.	9C				
	Recommended Remedy	Remove landing and walk flatwork. Construct new level landing out to sidewalk, then a ramp down to the east and west to the sidewalk.		180	SF	\$30	\$5,400
10	Existing Deficiency	Pavement is deteriorated	10C				
	Recommended Remedy	Crack seal, edge grind, pavement fabric, and 1.5" minimum overlay. Restripe as required.		1,300	SF	\$6	\$7,800
ii) FIRE/LIFE SAFETY/HAZ MAT							
1	Existing Deficiency	There are no onsite fire hydrants, and no building sprinkler systems, making fire protection coverage of the east side of the campus deficient.	12C				
	Recommended Remedy	Consider adding a private fire line and hydrant near the north side of PC 7 to serve the east side of the campus.	Allow	620	LF	\$90	\$55,800
2	Existing Deficiency	The interconnected nature of the buildings will likely result in a large fire area, and correspondingly high required fire flows, which the surrounding hydrants may not be able to meet.					
	Recommended Remedy	Consider adding fire sprinklers to existing buildings to reduce required fire flow.		50,430	SF	\$12	\$605,160
iii) UTILITIES							
1	Existing Deficiency	Multi-Use Kitchen: C.I. sewer constantly clogs from root bound 4" C.I. discharge line					
	Recommended Remedy	Remove pine trees and replace SS line		1	LS	\$10,000	\$10,000

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			Quantity	Unit		
2	Existing Deficiency		1	LS	\$12,000	\$12,000
	Recommended Remedy					
3	Existing Deficiency	13C				
	Recommended Remedy					
			19,000	SF	\$2	\$38,000

2) Architectural **\$3,740,485**

A) Exterior

i) ACCESS						
1	Existing Deficiency	Modular Wings A,B & C: per 2010 Code, all classrooms, and Admin. rooms need to be accessible	#1, #2, #3	8,300	SF	\$24
	Recommended Remedy					
2	Existing Deficiency	Parking / Drop-off/ Play Yard/ Commons: asphalt paving is cracked and deteriorated	#1, #4, #5, #6	40,000	SF	\$6
	Recommended Remedy					
3	Existing Deficiency	Multi-Use: exterior stage is non-accessible and exceeds 30" to adjacent grade	#9	180	SF	\$44
	Recommended Remedy					

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ii) DEFERRED MAINTENANCE							
1	Existing Deficiency	Multi-Purpose Bldg: concrete wall cracking; paint spalling, different shades	#7, #8, #9, #10, #11				
	Recommended Remedy	Further investigation of footing/ soil stability required	Allow	1	LS	\$100,000	\$100,000
2	Existing Deficiency	Modular Wings and Multi-Use: roof membrane at end of service life	#1, #12				
	Recommended Remedy	Replace all roofs with new 30-yr BUR w/ Cool roof coating. Add site drainage and new RWLs at Modulares.		63,870	SF	\$8.50	\$542,895
3	Existing Deficiency	Exterior windows w/ Plexiglas beyond Service life	NA				
	Recommended Remedy	Replace all windows with Alum. frame & dual pane glass		4,200	SF	\$44	\$184,800
4	Existing Deficiency	No Trash Enclosure at this Site	NA				
	Recommended Remedy	Install a 2-Bin Trash Enclosure per Health Dept. standards		1	LS	\$15,000	\$15,000
5	Existing Deficiency	Exterior painted finish is deteriorated	NA				
	Recommended Remedy	Reseal and repaint all exterior walls, trims fascia, etc.		63,870	SF	\$2	\$127,740
6	Existing Deficiency	Exterior doors beyond service life	NA				
	Recommended Remedy	Replace all ext. doors with metal frame and FRP door		45	EA	\$4,400	\$198,000
7	Existing Deficiency	3-Story Bldg: steel moment frames need constant painting and are unsightly	#7	Allow			
	Recommended Remedy	Design and place non-corrosive metal clad sheathing		1	LS	\$90,000	\$90,000
8	Existing Deficiency	Modular Wings A,B, & C: exterior paneling at end of service life; steel frame corrosion; paint chipping/ spalling	#13,14,15, 16,17,18				
	Recommended Remedy	Replace with new modulares.	#19, 20, 21, 25	13,440	SF	\$71.00	\$954,240

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				Quantity	Unit		
B) Interior							
i) GENERAL & MAINTENANCE							
1	Existing Deficiency	M.P. Kitchen: per Dir. Of Food Svcs, space is too small for volume of food production.	#22, #23, #24				
	Recommended Remedy	J.Bedard recommendations: more dry storage; loading dock w/ walk-in refer; and room for: Rack baking ovens; walk-in freezer & refer; overwrap machine; 3 kettle cookers; retherm units; 3-comp. sink; dishwasher; garbage disposal, etc.	#26, #27, #28	1	LS	\$225,000	\$225,000
2	Existing Deficiency	Corridor Lockers: many are broken, missing parts, etc.	#29, #30				
	Recommended Remedy	Replace banks of lockers with new District standard 'Pemco' lockers.		600	Units	\$425	\$255,000
5	Existing Deficiency	Classroom/ Corridor flooring at end of service life	NA				
	Recommended Remedy	Replace all flooring with resilient flooring, and walk-off Entry carpet mat.		63,870	SF	\$5	\$319,350
6	Existing Deficiency	Deteriorated interior painted walls and trim finish	NA				
	Recommended Remedy	Repaint all interior walls, trims, doors, and other painted items		63,870	SF	\$2	\$127,740
7	Existing Deficiency	Multi-Use; gym floor membrane is delaminating and deteriorated	#33				
	Recommended Remedy	Remove, etch concrete, moisture seal, and install need athletic floor covering		9,600	SF	\$16	\$153,600
8	Existing Deficiency	Modular Wings A,B, & C: interior finishes deteriorated	#34, #35				
	Recommended Remedy	Replace with new modulares per item #8 above					Incl. Above

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CATEGORY		DESCRIPTION	PHOTO & SITE PLAN	ESTIMATED TAKE OFF		COST / UNIT	TOTAL COST
				Quantity	Unit		
3) Mechanical / Plumbing							\$796,068
A) Exterior							
i) SITE SYSTEMS							
1	Existing Systems	campus energy management system does not exist	NA				
	Recommended Remedy	add campus wide ddc control and create district standard for energy control systems		63,870	SF	\$2	\$127,740
2	Existing Restrooms	Most toilet rooms have been modernized w/waterless urinals . Older urinals on first floor are floor mounted type. Exhaust System imbalance, doors difficult to open.	#37				
	Recommended Remedy	replace non-compliant toilet room fixtures and waterless urinals with urinals (0.125 gpf), water closets (1.28gpf), and lavatories (0,5gpm) to bring into current code compliance and reduce water consumption. Replace exhaust fans throughout.		800	SF	\$5	\$4,000
3	Existing Deficiency-Multi Purpose	Multi-Purpose: heater/ventilator units are at end of service life	NA				
	Recommended Remedy	Replace with new high efficiency gas fired packaged ac units, roof mounted.		14,650	SF	\$9	\$131,850
B) Interior							
i) EXISTING SYSTEMS							
1	Existing Systems-Classroom b	boiler plant was replaced in '95 and is in good condition, however piping accessories are not insulated. Pump motor shows signs of wear.	NA				
	Recommended Remedy	District has requested elimination of centralized boiler systems throughout		1	LS	\$35,000	\$35,000
2	Existing Deficiency-3 story classroom	unit ventilators are in fair to poor condition- most have reached end of useful life and are heating only.	NA				
	Recommended Remedy	replace with new high efficiency rooftop packaged ac units for 3rd level. For 1st and 2nd level, replace with ductless split heat pumps, Daikin or equal.		50,430	SF	\$1.50	\$75,645

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				Quantity	Unit		
3	Existing Deficiency-Gym&Music bldg	Diffusers in poor condition. Air handlers are heating only	NA				
	Recommended Remedy	replace mechanical systems, complete, new roof top packaged ac units, ductwork and controls throughout.		50,430	SF	\$1	\$37,823
4	Existing Deficiency-Kitchen	Unit Heaters have reached end of useful life.	NA				
	Recommended Remedy	replace mehanical systems, provide ductless split systems.		50,430	SF	\$7	\$353,010
5	Existing Deficiency	Multi-Use Kitchen: Grease trap is undersized for waste volume	NA				
	Recommended Remedy	Replace with larger grease intecptor, per Code		1	LS	\$15,000	\$15,000
Electrical							\$794,031
) <u>General</u>							
i)	EXISTING SYSTEMS						
	Existing Systems	School Modernization in in 2000 & 2008 included upgrades to electrical service , tele communication, clock, security, and fire alarm systems. Emergency diesel generator (70amp, 240v) for backup power to emergency egress lighting, according to staff. Main Switchboard appears to be original equipment (circa 1965) Modular buildings have separate electrical service. ATT cell phone site on roof. No cable TV service.					
) <u>Mandatory</u>							
i)	EXTERIOR LIGHTING						
	Existing Systems	Exterior building lighting provided by wallpacks and floodluights, surface square dropped lens at covered walkways.					
1	Existing Deficiency	Inadequate exterior lighting provided, walkways and play yard areas dark as noted by staff.					
	Recommended Remedy	Add exterior walkway and Bldg wall fixtures		30	EA	\$750	\$22,500
2	Existing Deficiency	No exterior emergency lighting provided for emergency egress.					
	Recommended Remedy	Add exterior battery pack fixtures for minimum code coverage.		20	EA	\$375	\$7,500
) <u>Deferred Maintenance</u>							
i)	FIRE ALARM /DETECTION						
	Existing Systems	Siemens control and expander panels, strobes, detectors are recent system upgrades.					
1	Existing Deficiency	Door holders at elevator not operating					
	Recommended Remedy	Replace door holders		1	LS	\$1,500	\$1,500

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2	Existing Deficiency	Siemens panel is not preferred manufacturer					
	Recommended Remedy	Replace fire alarm panel with district preferred manufacturer (Firelite).		1	EA	\$24,000	\$24,000
ii) TELEPHONE/DATA SYSTEM							
	Existing Systems	Rack mounted telephone & data systems upgrade.					
1	Existing Deficiency	Existng telephone service is faulty and is not preferred manufacturer.					
	Recommended Remedy	Replace Rauland system with District standard VOIP.		1	EA	\$55,000	\$55,000
2	Existing Deficiency	In some classrooms, plastic floor thresholds used to cover data cables to tables and work stations.					
	Recommended Remedy	Add (6) data/power outlets to eliminate use of thresholds at all classrooms		50	EA	\$425	\$21,250
		Add (6) data outlets to each classroom (6x28classrooms)		168	EA	\$350	\$58,800
		Add (6) receptacles to each classroom (6x28classrooms)		168	EA	\$350	\$58,800
3	Existing Deficiency	Surface raceway in several locations has broken pieces, loose data cable					
	Recommended Remedy	Replace broken raceway		300	LF	\$20	\$6,000
4	Existing Deficiency	Add data distribution equipment, including fiber optic panels, patch panels, switches and wireless data transmitters, to accommodate new data outlets note above					
	Recommended Remedy	Add data distribution equipment to activate all data outlets		8	EA	\$1,500	\$12,000
iii) BELL/CLOCK/SPEAKER SYSTEM							
	Existing Systems	Wall mounted Edwards bell/clock/speaker system has not been upgraded for a while.					
1	Existing Deficiency	Edwards panel is not preferred manufacturer System is outdated, parts and service not available.					
	Recommended Remedy	Replace Rauland system with District standard VOIP.		1	LS	\$9,500	\$9,500
iv) SECURITY SYSTEM							
	Existing Systems	Security system is provided by door contacts and motion sensors.					
1	Existing Deficiency	Main building and (2) Modular wings are not protected					
	Recommended Remedy	Extend security alarm door contacts & motion sensors		50,430	SF	\$0.50	\$25,215

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				Quantity	Unit		
v)	INTERIOR LIGHTING						
	Existing Systems	Surface lensed 4x4 fluorescent fixtures in typical classrooms, surface & recessed 2x4 fluorescent in offices & halls, recessed 2x2, 2x4, & fluorescent cove lighting in Library, 4x4 fluorescent in media center & gym, stage with projection lights, 1x4 fluorescent in kitchen.					
1	Existing Deficiency	Fixtures appear to be older, with T8 or T12 lamps and magnetic ballasts					
	Recommended Remedy	Replace with energy efficient T5 lamp and electronic ballast fixtures.		50,430	SF	\$2	\$100,860
2	Existing Deficiency	Fixtures observed with broken or missing lenses.					
	Recommended Remedy	Included in above					\$0
3	Existing Deficiency	3-Story Corridors: lighting is too dim; data/phone/FA conduit is all exposed , some not in conduit					
	Recommended Remedy	Add acoustic tile drop ceiling with drop-in troffer fixtures to hide exposed conduits/ wiring		50,430	SF	\$6	\$302,580
4	Existing Deficiency	Some occupancy sensors observed, local room switches are typical classroom and office lighting controls					
	Recommended Remedy	Replace toggle switches with ultrasonic/infrared room occupancy sensors		50,430	SF	\$0.35	\$17,651
vi)	EXIT SIGNS						
	Existing Systems	Exit signs and dual head battery packs observed.					
1	Existing Deficiency	Fixtures observed with broken or missing lenses. Several exit signs are outdated and not furnished with battery backup, paper exit signs observed.					
	Recommended Remedy	Replace exit signs		25	EA	\$425	\$10,625
2	Existing Deficiency	Inadequate number of emergency egress fixtures were observed, according to staff generator provides emergency backup power for egress lighting.					
	Recommended Remedy	Add dual head battery packs at egress paths		30	EA	\$375	\$11,250

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				Quantity	Unit		
vii) POWER							
1	Existing Deficiency	In some areas, ie, media center, classrooms, offices, plastic floor thresholds used to cover power cables to tables and work stations.					
	Recommended Remedy	Add power outlets to eliminate use of thresholds		30	EA	\$475	\$14,250
2	Existing Deficiency	In some areas, ie, media center, classrooms, offices, plastic surface raceway is broken and hanging loose from walls, with data and power cables exposed.					
	Recommended Remedy	Replace broken raceways		200	LF	\$20	\$4,000
3	Existing Deficiency	In typical classrooms, inadequate quantity of receptacles.					
	Recommended Remedy	Provide additonal receptacles		50	LF	\$475	\$23,750
4	Existing Deficiency	In some areas, devices are missing coverplates with data or power cables exposed.					
	Recommended Remedy	Replace coverplates		20	EA	\$25	\$500
5	Existing Deficiency	3-Story Bldg: Main panel and sub-panels maxed out. Some breakers doubled up.					
	Recommended Remedy	Add Panel and breaker capacity for this building due to increased HVAC and computer loads		1	LS	\$6,500	\$6,500
5) Structural							\$16,000
1	Existing Deficiency	Exterior braced frames at main Classroom Building do not have pier foundations, cannot find DSA Application number					
	Recommended Remedy	Additional structural analysis (fee only)		1	LS	\$6,000	\$6,000
2	Existing Deficiency	Mulit-Purpose building appears to be lacking low roof to high wall anchorage- not critical					
	Recommended Remedy	Add Roof to Wall Anchorage		20	EA	\$500	\$10,000
						Sub-Total	\$6,182,443
* NEEDS FURTHER INQUIRY FOR ACCURATE ESTIMATE							
						SOFT COSTS @ 25%	\$1,545,611
						TOTAL COSTS (not including escalation)	\$7,728,054

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WOOD MS

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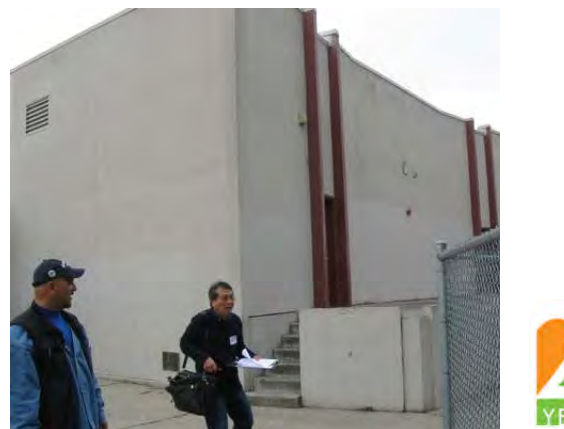
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WOOD MS

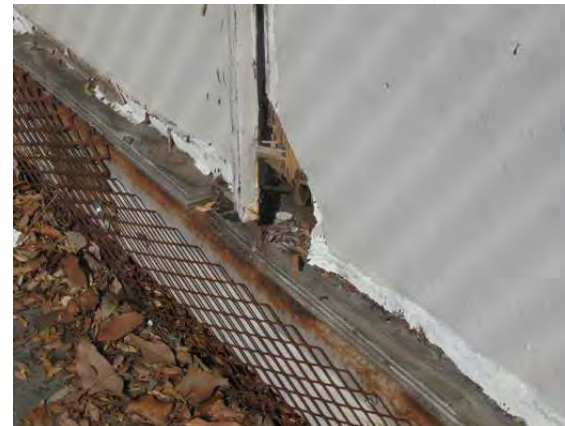
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